



**Nibley City
Planning Commission**

Wednesday, November 9, 2016
455 W. 3200 S.
Nibley, UT

5:30 p.m. Call to Order
 Approval of Agenda
 Approval of Minutes

Application for An Accessory Building Permit

1. Discussion and consideration of an application for an Accessory Building Permit (Applicate John Swanton)

Final Plat

2. Discussion and consideration of a final plat for Phases 1 and 2 of Summerfield Place, a 28-lot subdivision located at approximately 2700 South 1000 West. (Applicant: Kelly Loosle)

Ordinance Revision

3. Discussion and consideration of an update to Nibley City Fence Ordinance
4. Discussion and consideration of an update to Nibley City Canal Ordinance
5. Staff Report

*Planning Commission agenda items may be tabled if: 1) Additional information is needed in order to take action on the item; OR 2) The Planning Commission feels there are unresolved issues that may need further attention before the Commission is ready to make a motion. **No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commission.** The Commission may carry over agenda items, scheduled late in the evening and not heard, to the next regularly scheduled meeting.*

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, REASONABLE ACCOMMODATIONS FOR INDIVIDUALS WITH DISABILITIES WILL BE PROVIDED UPON REQUEST. FOR ASSISTANCE, PLEASE CALL 752-0431 A MINIMUM OF 24 HOURS BEFORE THE MEETING.

Agenda Item #: 1

Description	1. Discussion and consideration of an application for an accessory Building Permit (Applicate John Swanton)
Department	Planning
Presenter	Stephen Nelson, City Planning
Sponsor	NA
Applicant	John Swanton
Background	<p>The Planning and Zoning Commission had previously given the former City Planner (Shari Phippen) the authority to approve Accessory Building Permits according to City Ordinance 2-1-4 B, however, the authority went back to the Planning and Zoning Commission once Shari had left the City.</p> <p>The follow requirements can be found in 10-12-6:</p> <p>Proposed Building Size: 18x30 Total Sq Ft: 540 Height: 18' Proposed Use: Storage Lot Size: .34 Arce. Max. Sq. Ft. Allowed: 1000 Max Height Allowed: 20' Zone: R-2A</p> <p>Setbacks: The accessory building is being proposed to be built 3' off the side property line, 2' off the side and 40' from the back of the house. This conforms to city code.</p>
Recommendation	Because this application meets Nibley City ordinances, staff recommends that the Planning and Zoning Commission approve this application for an accessory building permit.
Financial Impact	NA
Reviewed By	Stephen Nelson, City Planner

Agenda Item #: 2

Description	Discussion and consideration of a final plat for Summerfield Place, a 28-lot subdivision located at approximately 2700 South 1000 West													
Department	Planning													
Presenter	Stephen Nelson, City Planner													
Sponsor	NA													
Applicant	Kelly Loosle													
Background	<p>This final plat is for a 28-lot subdivision located at approximately 2700 South 1000 West, just north of the Sunset Parks PUD.</p> <ul style="list-style-type: none"> This property is zoned R-2A. The following are the development standards found in Nibley City Code 10-6C, for subdivisions in the R-2A zone, and whether the proposed preliminary plat meets those standards: <table> <tr> <th></th><th>Zone Requirement</th><th>Final Plat</th></tr> <tr> <td>Min. Lot Size</td><td>12,000</td><td>All lots meet or exceed standard</td></tr> <tr> <td>Lot Size Avg.</td><td>14,000+</td><td>14,793 sq ft</td></tr> <tr> <td>Min. Frontage</td><td>100'</td><td>All lots meet or exceed standard</td></tr> </table> <ul style="list-style-type: none"> The subdivision is proposed for development in two phases. Phase 1 will be Lots 1-9 and 22-28, which will build along 1000 West, 2600 South and 1100 West. Phase 2 will be Lots 10-21 and will build on the cul-de-sac. The phasing is acceptable. Staff and Engineering Review There are a few items that are on this plat that need to be change to meet with City code and standards. These items are currently being work on to be updated to our standards and the developer should have a new plat ready by Planning and Zoning Commission. A couple of items that need to be change are the plat needs to note the ground water elevation as stated by City Ordinance 11-3-8 B2. Also, a number of final plat signature boxes have been updated with the new standards, and the Mayor's signature block needs to be updated. City staff is currently working with the developer to insure these changes are made. Roads Our engineering standards, as well as Nibley City Code 11-5-5(E) limit the length of a cul-de-sac to 660'. The cul-de-sac measures 620' to the center of the cul-de-sac, so it is acceptable for street development. The cul-de-sac will be a 60' ROW, which is acceptable for a local road. 1000 West, 1100 West and 2600 South will each be a 66' ROW, which is suitable for neighborhood roads that carry a larger traffic load than the 			Zone Requirement	Final Plat	Min. Lot Size	12,000	All lots meet or exceed standard	Lot Size Avg.	14,000+	14,793 sq ft	Min. Frontage	100'	All lots meet or exceed standard
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Lot Size Avg.	14,000+	14,793 sq ft												
Min. Frontage	100'	All lots meet or exceed standard												

	<p>cul-de-sac.</p> <ul style="list-style-type: none"> • Stormwater Stormwater needs for this subdivision will be handled by the Sunrise Meadows ponds. Those ponds were built with this property in mind. Rather than building a separate pond at this site, stormwater will be piped to the regional Sunrise Meadows ponds and this developer will pay for a proportionate share of the cost for those ponds. • Infrastructure As part of the submittal of the final plat for each phase, the developer has submitted construction drawings related to the infrastructure construction. Those drawings are being reviewed by the City Engineer and staff for compliance with City standards and specifications. • Pedestrian ROW Nibley City Code 11-5-5(E) requires that cul-de-sacs have a pedestrian ROW from the cul-de-sac, linking it to the nearest public ROW. The City Council, on September 1, 2016 approved the preliminary plat based on the following changes to the pedestrian right-of-way <ul style="list-style-type: none"> ○ A portion of the property (squaring the property) in the southwest corner of the proposal be included as land sold by the city to the proponent with the open space to be mitigated with the other parts of the proposal ○ That the pedestrian right of way be established, either through land acquisition in trade, or through a right-of-way easement running east and west along the south border of the proposal ○ The pedestrian right-of-way on the preliminary plat the goes to the east would not be required ○ A north-south pedestrian right-of-way between lots 15 and 16 would be pedestrian right-of way established to get to the south pedestrian right-of way ○ The City would split 50/50 the cost of developing the pedestrian access with the proponent. • These items have been incorporated into the final plat. However, a couple of questions remain regarding the trail system. The first item that needs consideration is that according to City Ordinance 11-1-8-C: <p>“Developers may choose to construct infrastructure improvements within the proposed subdivision, which may include, but are not limited to: utilities, parks, open space, stormwater facilities, trails, etc. When such improvements are approved as part of the subdivision approval, they shall be phased in proportion, based on percentage of the total value of the amenities in the subdivision, to the total number of lots in the subdivision, per phase. Example: If a phase contains 25% of the lots for the subdivision, then 25% of the total value of the</p>
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	<p>subdivision's amenities are required to be constructed along with that phase."</p> <p>This would mean the developer would need to construct 50% of the trail in Phase 1.</p> <p>Another item to consider is designs for the trail. City Ordinance 11-5-5-E:</p> <p>"Cul-De-Sacs: Cul-de-sacs shall not exceed one-eighth ($\frac{1}{8}$) mile in length, except in R-E zones where they shall not exceed one-fourth ($\frac{1}{4}$) mile in length. Each cul-de-sac must be terminated by a turnaround with a radius of at least sixty feet (60'). If surface water drainage runs into the turnaround due to the grade of the street, necessary catch basins and drainage easements shall be provided. Where a street is designed to remain only temporarily as a dead end street, an adequate temporary turning area shall be provided at the dead end street. It shall remain and be available to the public so long as the dead end exists.</p> <ol style="list-style-type: none"> 1. The subdivider shall provide a pedestrian ROW as outlined below linking the cul-de-sac to the nearest adjacent public ROW unless expressly prohibited by conflict with previously developed subdivisions or land uses. 2. In the event that this provision requires a trail that terminates adjacent to a compatible or undeveloped land use, viz. agriculture or undeveloped subdivision, the ROW and sidewalk shall be provided to the subdivision property line. Upon development of the adjacent land, the sidewalk and ROW shall be continued from that point through the new subdivision to the nearest public trail or street. 3. All pedestrian ROWs shall be designed for compliance with the Transportation Master plan to maximize non-motorized transportation network efficiency. 4. The right-of-way shall consist of a minimum 5' sidewalk and a minimum 7.5' landscaped area on each side of the sidewalk. The Developer shall submit a compliant Landscaping Plan to the City for approval. The ROW shall be dedicated to the City upon completion and acceptance by the Public Works Director." <p>Staff would like to see a Landscaping Plan prior to approval of the final plat.</p> <ul style="list-style-type: none"> • This item was reviewed by the Planning Commission at its June 22, 2016 and City Council on September 1, 2016
Recommendation	
Financial Impact	n/a
Reviewed By	City Planner, City Engineer, Public Works Director, City Manager, P&Z,

	City Council
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Agenda Item #: 3

Description	Discussion and consideration of an update to Nibley City fence ordinance
Department	Planning
Presenter	Stephen Nelson, City Planner
Sponsor	NA
Applicant	NA
Background	<ul style="list-style-type: none"> • The plan was for the Commission to hold a public hearing regarding this ordinance this week; however staff missed the deadline to submit it to the newspaper. The public hearing will be held on November 16, 2016. • Mayor Dustin has asked that the Commission address some concerns regarding pedestrian walkways, trails, and fences. The Mayor's proposal to the Commission is below. It is not intended that the Commission will adopt any of changes at this meeting because a draft ordinance changes has not yet been drafted and a public hearing must first be held for ordinance changes as well. The purpose of this agenda item will be a first look at the Mayor's suggestions and an opportunity for Planning Commission members to begin their discussion. There currently is not a proposed ordinance in front of the Commission, but wording is being work on by the City Attorney and Staff at this time. • The idea for the changes listed is to help ensure that walkways and trails that run between personal property is safe and to avoid creating alleyways with tall fences on both sides of a trail. There is also a need to clarify setbacks for some of the unusual corner lots when it comes to fences. • Some items for the Commission to consider and give direction on is the proposed height of fence along trails and other similar right-of-ways. • The following are the Mayor's suggestions: • As we have begun to implement the provisions of our subdivision ordinance that require pedestrian walkways and trails, we've realized that it creates a public safety issue. The fence ordinance needs to be revised to reflect this. There are some great examples of fences that allow for the compromise between private property and public responsibility, but essentially, the discussion in Council has been that 6 ft privacy

fences along the 20 ft ROW for trails are a bad idea from a public safety/liability standpoint. We have examples of this at a couple of places in town and we need to get a handle on it before we inadvertently create spaces for bad things to happen while we are trying to do good things.

We've also had a problem with the interpretation of code for fence permits on corner lots that effectively allows corner lot owners to use a loophole to build privacy fences to lot lines on one or both sides of the house if the house is set at an angle on the lot. This makes for issues with neighbors where the neighbor is governed by a different setback than the corner lot and results in dumb looking fences. That's the technical term.

I've proposed a couple of solutions below. I'd like P&Z to weigh in on these. I don't feel that they are substantive changes that require a whole lot of agonizing; we should try them and if we don't get it exactly right, we will change them again till we do get them right but these need to be implemented soon, preferably this month so when spring construction/permits start, we can be ready. Please have something to the Council ASAP. Ideally, Council will consider this and do our public hearing at our meeting Nov 19 and pass it in our December meeting.

Fence Ordinance key points

- Public Safety along Trails and other Public Rights of Way:
 - PROPOSAL: For fences along trails and similar public rights of way that are open to public non-motorized access, the following fence types are permitted (insert photographs). All heights given are as measured from the centerline of the public trail surface:
 - Post and Rail fences
 - Field Fences
 - Barbed Wire
 - High Tension Wire
 - Other types that are maximum 20% opaque
 - Opaque fences or hedges not exceeding 42" height
 - Chain Link to 42" height
 - The following types are specifically not permitted
 - Opaque fences exceeding 42" height
 - Chain link exceeding 42" height
 - Opaque fences to 42" high with lattice or other construction above the 42" level that is more than 20% opaque
- Clarification for fencing on corner lots

	<ul style="list-style-type: none"> ▪ For all corner lots or other irregular lots with frontage on more than one side to a public or private road: For the purposes of fencing, all frontage facing a public or private road shall be regarded as Front Yard for the purpose of determining setbacks and compliance with the fence ordinance. (Insert pictures to show examples)”
Recommendation	
Financial Impact	
Reviewed By	City Planner, City Manager, City Attorney, Mayor, Planning and Zoning Commission

Agenda Item #: 4

Description	Discussion and consideration of an update to Nibley City canal ordinance
Department	Planning
Presenter	Stephen Nelson, City Planner
Sponsor	NA
Applicant	NA
Background	<ul style="list-style-type: none">• The plan was for the Commission to hold a public hearing regarding this ordinance this week; however staff missed the deadline to submit it to the newspaper. The public hearing will be held on November 16, 2016.• Staff and the City Attorney have been working to create a canal ordinance. It is not expected that the Commission will take any action on this item this week because the Commission will need to hold a public hearing first. The recommendation is to review the document and note any changes or identify any problems with the proposed code changes.• The goal of this ordinance is to reduce conflicts that have occurred between the canal companies and adjacent land uses. There have been some issues in the past that the canal companies in Nibley were not able to access their canals for maintenance and repairs. Parts of this ordinance have been taken from an agreement that that the City entered into with the Nibley Blacksmith Fork Canal Company. These ordinance would formalize those aspects of the agreement. The canal companies are being sent a copy of the ordinance so they might comment at the future public hearing or otherwise provide input.
Recommendation	
Financial Impact	
Reviewed By	City Planner, City Manager, City Attorney, Mayor, Planning and Zoning Commission



APPLICATION FOR ACCESSORY BUILDING PERMIT

PROPERTY OWNER INFORMATION

Name John Swanton
Address 29153 1080 W NIBLEY, UT 84321
Phone 435-279-6803 Cell _____ Fax _____
Email jandfswanton@yahoo.com / John.Swanton@orbitalatk.com

Proposed Building Size 18x30 Lot Size 33

The allowed square footage of accessory buildings are limited based on the size of the lot, as shown below:

Lot Size	Max. Sq. Ft.	Height Max.	Lot Size	Max. Sq. Ft	Height Max.
0-14,000 sq ft	1,000	20'	14,001 sq ft-.49 acre	1,200	20'
.5-.74 acre	1,500	20'	.75-.99 acres	3,000	30'
1.00-1.99 acres	5,000	30'	2.00+ acres	No Limit	30'

SUPPORTING MATERIALS: The following materials **must** be submitted with this Accessory Building Application, or the application will not be accepted by Nibley City.

Plot Plan showing: (please initial each item)

City Staff Review

_____ The applicant's name, address and the date the plan was completed	_____
_____ An arrow indicating North	_____
_____ An approximate scale	_____
_____ Property boundaries of the lot on which the building is being proposed	_____
_____ Roads or streets adjacent to the lot (include street names)	_____
_____ Public and private easements on the lot	_____
_____ Existing buildings	_____
_____ The location of the proposed accessory building or addition	_____
_____ Dimensions of the proposed accessory building or addition	_____
_____ Distance from the proposed accessory building or addition to lot boundaries	_____
_____ Distance from the proposed accessory building or addition to existing buildings	_____
_____ Vehicle access plan to the proposed accessory building or addition (if applicable)	_____

Elevation Drawings of the proposed accessory building or addition showing:

_____ Accessory building height, pitch and all other dimensions	_____
_____ Approximate location of doors and windows	_____
_____ Information sufficient to determine an approximate building appearance	_____
_____ How the addition will attach to the existing building (if applicable)	_____

Please describe the proposed use for this accessory building: Storage



Nibley City Application For Building Permit

Building Department
455 W. 3200 S. Nibley, Utah 84321
Austen: (435)979-6488 austen@nibleycity.com

Applicant Name	John Swanton	Cell #	435-279-6803	Phone #	
Applicant Address	Street Address:	2915 S 1080 W		City	Nibley
	State:	UT		Zip	84321
Email #1	jandrswanton@yahoo.com		Email #2		
Project Address	2915 S 1080 W Nibley, UT				
Subdivision	Nibley Gardens	Phase			
Total Est. Value			Property Tax ID	- -	

Gen. Contractor	Build Rite LLC	WWW.BUILD-DRITESHEDS.COM	435 313-8235	8779933-5501 Contractor w/LRF
Email address	djheinze@builtritesheds.com		Primary contact	DJ Heinze

Engineer				
Architect				
Carpentry Sub.				
Electrical Sub.				
Plumbing Sub.				
Mechanical Sub.				
Masonry Sub.				
Insulation Sub.				
Drywall Sub.				

Storm water Compliance: (For new home construction only)	#1: Is construction in a subdivision?	yes		no	#2: Will construction process disturb more than 1 acre of land?	yes		no	X	If answered yes to question to #1 or #2 go to http://www.deq.utah.gov/Permits/water/updates/stormwater SWPPP and NOI is required
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Use of Building	Type of Construction	Type of Foundation	Size Information	Structures and Features
Dwelling	Wood Frame	Crawl Area	# of Stories 1	N/A
Commercial	Masonry	Slab on Grade	Height (in feet) 18	Garage
Agriculture	Steel	Basement	Size of Water Service	Carport
Other: ACC BUILDING	Other:	Other:	Size of Sewer Service	Sign
New	Moving	Full		Fence
Addition	Demolition	Partial		Deck
Alteration	Basement Finish	Rough		Shed
Repair	Grading	Finished		Patio
Other:		N/A		Other:

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

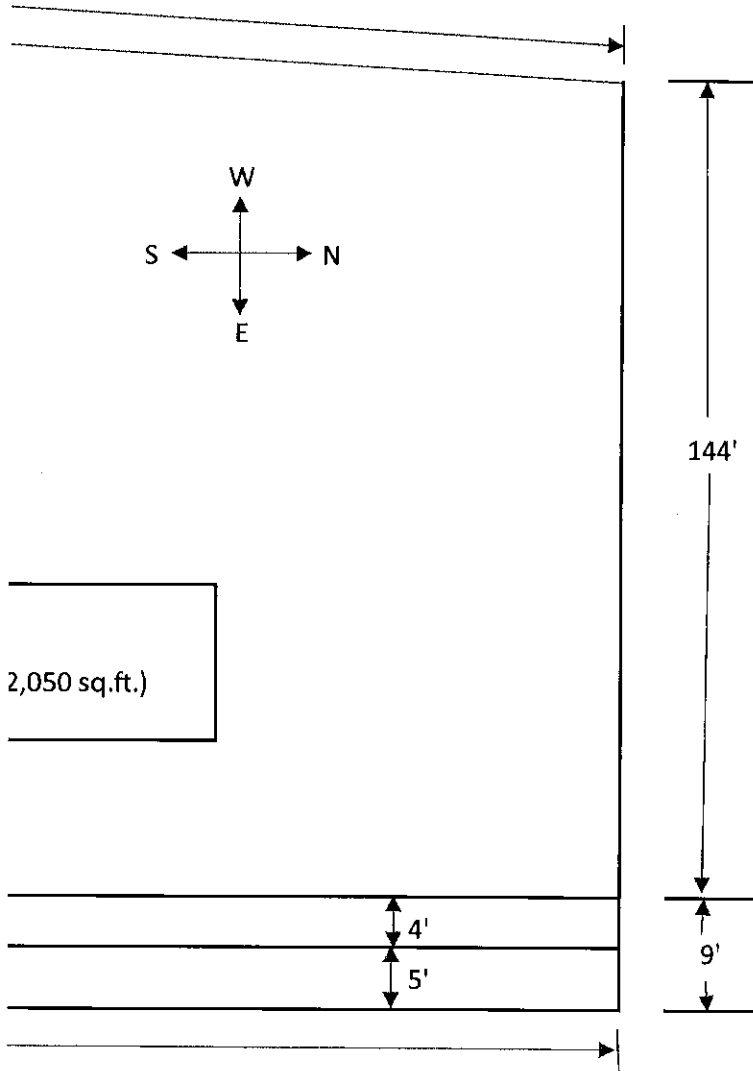
Signature of applicant or authorized agent

John Swanton
 Printed name

20 OCT 2016
 Date

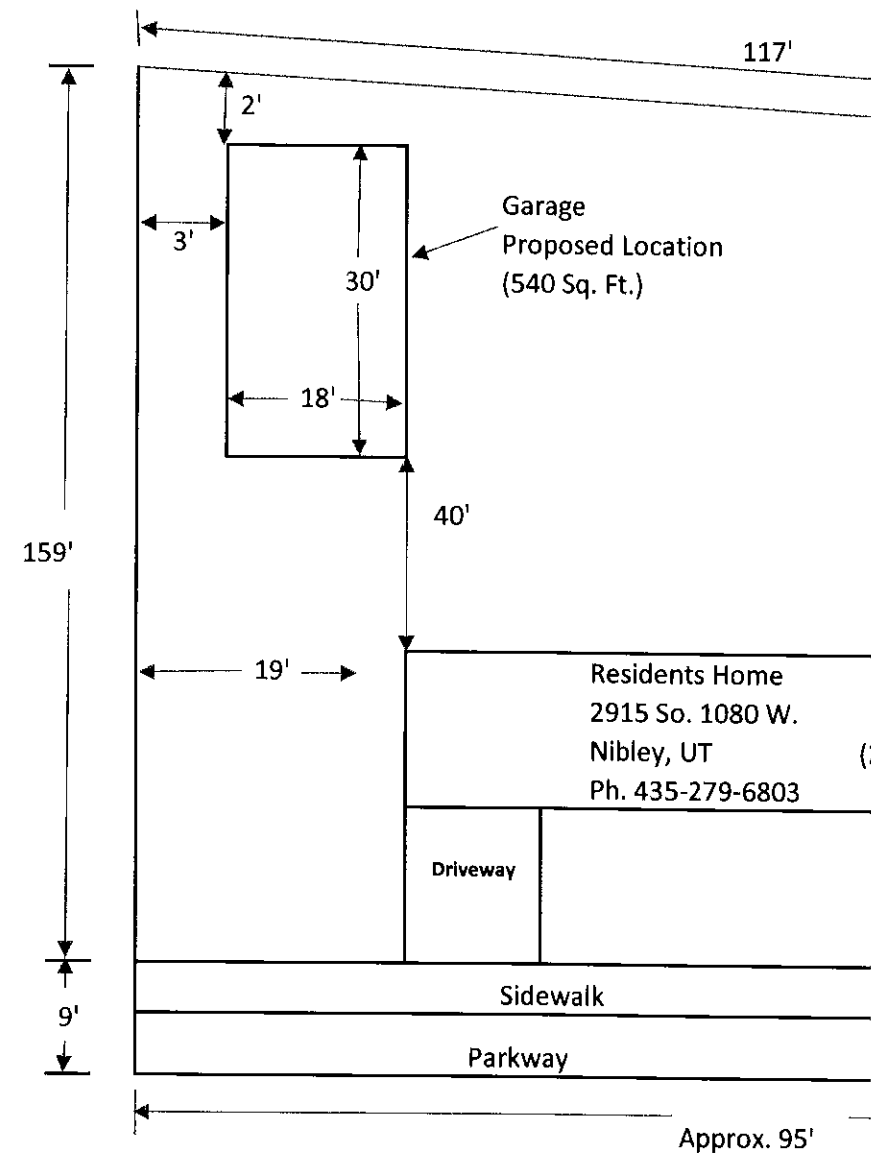
age Plot Layout

Acreage 0.34 (Lot 131 Garden State Cont.)



John Swanton 18x30 Garage

Plot ID# 03-166-0131, Home 2,050 Sq. Ft.,





Eagle Metal Products
12300 Ford Road, Suite 110
Dallas, Texas 75234
eaglemetal.com

To Whom It May Concern:

The attached truss design drawings referenced below have been prepared by me or under my direct supervision based on the design parameters provided by **A Truss Inc.** and are assumed to be in accordance with the appropriate building code.

Any changes to these parameters and/or information provided on the original truss drawing voids the affected sealed truss drawing and new information shall be submitted to this office for additional review.

Listed below are the truss designs included in this package and covered by this seal.

Job Name: **BR16658** - 1067256

T02

Please refer to individual truss designs for specific loading and design criteria.



Matt Vinson
(UT, 6671398-2202)

My license renewal date for the state of UT is 03/31/2017

The seal on these drawings indicates acceptance of professional engineering responsibility solely for the truss components shown. It is the responsibility of the building designer as to the suitability for use of each truss listed above.

DESIGN NOTES

1. The Truss Design Drawing(s) provided with these General Notes have been prepared under and are subject to ANSI/TPI1. Capitalized terms have the meanings provided in ANSI/TPI1.
2. Copies of each Truss Design Drawing shall be furnished to the installation contractor, Building Designer, Owner and all persons fabricating, handling, installing, bracing, or erecting the trusses.
12. Bottom chord requires structural rated ceiling.
13. Strongbacking shall include flooring. Refer to BCSI-B7.

DESIGN LIMITATIONS

3. The Truss Design Drawing is based upon specifications provided by the Building Designer in accordance with ANSI/TPI1. Neither the Truss Designer, Eagle, nor an engineer who seals this design (if any) assumes any responsibility for the adequacy or accuracy of specifications provided by the Building Designer.
4. The Building Designer is solely responsible for the suitability based upon the Truss Design Drawing and shall be responsible for reviewing and verifying that the information shown is in general conformance with the design of the Building.
5. Each Truss Design Drawing is for the individual building component (a truss). A seal on the Truss Design Drawing indicates acceptance of professional engineering responsibility solely for the individual truss.
6. Each Truss Design Drawing assumes trusses will be suitably protected from the environment.
14. Never exceed the strength of other materials.
15. Concentration of loads shall not be applied.
16. Trusses shall be protected from damage. Refer to erection.


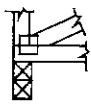
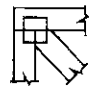
MATERIALS AND FABRICATION

HANDLING, INSTALLING AND BRACING

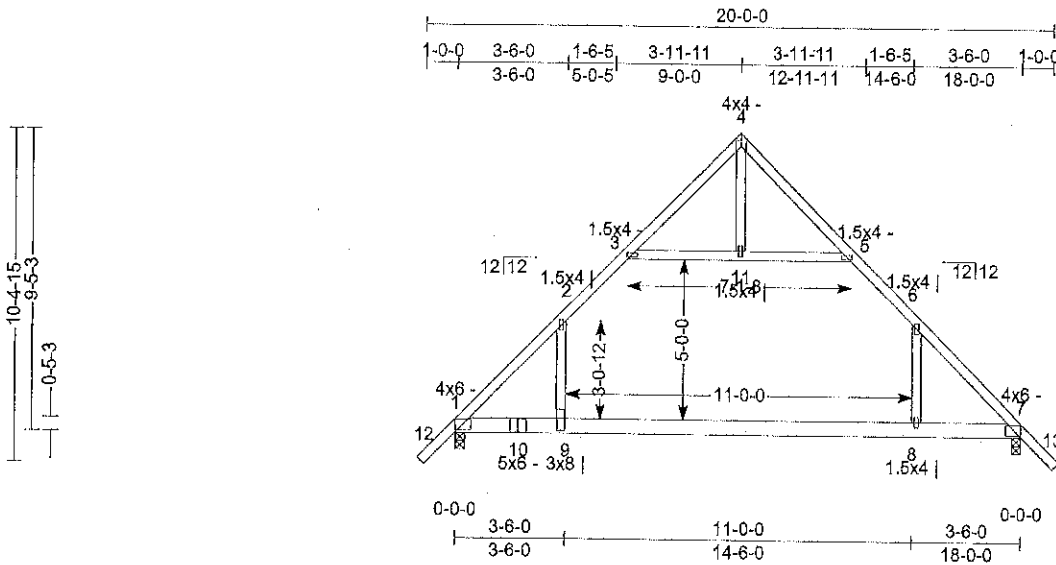
7. Refer to BCSI for handling, installing, restraining and bracing trusses. Copies can be obtained from the Truss Plate Institute (TPI), 218 N Lee Street, Suite 312, Alexandria, VA 22314, www.tpinst.org or SBCA, 6300 Enterprise Lane, Madison, WI 53719, www.sbcindustry.com.
8. Bracing shown on each Truss Design Drawing is for lateral support of individual truss components only to reduce buckling lengths. All temporary and permanent bracing, including lateral load and diagonal or cross bracing, are the responsibility, respectively, of the erector and Building Designer.
9. When a clear span truss is 60 ft or greater, Eagle recommends, and ANSI/TPI1 (2007) requires, that a registered design professional be involved in the erection process.
10. Eagle is not responsible for improper truss fabrication, handling, erection or bracing.
11. Compression chords shall be laterally braced by the roof or floor sheathing, directly attached, or have purlins provided at spacing shown, unless noted otherwise.
17. Lumber moisture content shall be controlled for fabrication unless otherwise specified.
18. Lumber used shall be of equal or better quality than specified.
19. Unless expressly noted, all lumber shall be treated with fire retardant.
20. Plates shall be applied and embedded fully. K-regulated in accordance with applicable code.
21. The plate type, size and spacing shall indicate minimum requirements.
22. Connections not shown shall be in accordance with applicable code.
23. Adequate support shall be provided for all loads.
24. Cut members to be in accordance with applicable code.

OTHER NOTES

25. Camber is a non-specified truss fabricator. A recommendation is provided.
26. Do not cut or alter trusses from a professional engineer's design.

	SYMBOLS				
<p>aired bracing shall be at 10ft spacing or less, if no illing is installed, unless noted otherwise.</p> <p>all be installed on all parallel chord trusses, systems; to limit deflection and reduce vibration.</p> <p>design loading shown and never stack building on inadequately braced truss; refer to BCSI.</p> <p>construction loads greater than the design loads ad to the trusses at any time; refer to BCSI.</p> <p>handled with care prior to erection to avoid BCSI for recommended truss handling and</p> <p>BRICATION</p> <p>content shall be 19% or less at the time of noted otherwise.</p> <p>I be of the species and size, and in all respects, than that specified.</p> <p>noted, the truss designs are not applicable for use or preservative treated lumber.</p> <p>plied on both faces of truss at each joint and nots and wane at joint locations shall be dance with ANSI/TPI1.</p> <p>ze, orientation, and location dimensions shown plating requirements.</p> <p>shown are the responsibility of others.</p> <p>: shall be provided to resist gravity, lateral, uplift</p> <p>ear tightly against each other.</p> <p>structural consideration and is the responsibility of /alues shown on truss drawing are a based on industry standards.</p> <p>any truss member or plate without prior approval al engineer.</p>	<p><u>Plate Size</u> 3x4 -</p> <p>The first dimension is the width perpendicular to slots. Second dimension is the length parallel to slots.</p> <p>-, /, , Indicates required direction of slots; Reference "Joint Details" for more information.</p> <p>20 Ga Gr40 connectors required</p> <p>3x10-20HS 20 Ga Gr60 connectors required 8x10-18HS 18 Ga Gr60 connectors required</p> <p><u>Lateral Bracing</u></p>  <p>When this symbol shown, continuous lateral bracing is required on the web of the truss.</p> <p><u>Bearing</u></p>  <p>Indicates location where bearings (supports) occur.</p> <p><u>Plate Location & Orientation</u></p>  <p>The plate shall be centered on joint and/or placed in accordance with the design drawing/QC full scale details.</p> <tr> <td colspan="2"> <p>REFERENCES</p> <ul style="list-style-type: none"> • ANSI/TPI1: National Design Standard for Metal Plate Connected Wood Trusses • BCSI: Building Component & Safety Information - Guide to Good Practice for Handling, Installing, Restraining & Bracing of Metal Plate Connected Wood Trusses • NDS: National Design Specification for Wood Construction • ESR 1082 published by the International Code Council. </td></tr> <tr> <td colspan="2"> <p>EAGLE METAL v02.11</p> </td></tr>	<p>REFERENCES</p> <ul style="list-style-type: none"> • ANSI/TPI1: National Design Standard for Metal Plate Connected Wood Trusses • BCSI: Building Component & Safety Information - Guide to Good Practice for Handling, Installing, Restraining & Bracing of Metal Plate Connected Wood Trusses • NDS: National Design Specification for Wood Construction • ESR 1082 published by the International Code Council. 		<p>EAGLE METAL v02.11</p>	
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<p>EAGLE METAL v02.11</p>					

SPAN	PITCH	QTY	OHL	OHR	CANT L	CANT R	PLYS	SPACING	WGT/PLY
18-0-0	12/12	14	1-0-0	1-0-0	0-0-0	0-0-0	1	24 in	95 lbs



All plates shown to be Eagle 20 unless otherwise noted.

Loading (psf)	General	CSI Summary	Deflection	L/	(loc)	Allowed
TCLL: 50	Bldg Code: IRC 2015/	TC: 0.87 (6-7)	Vert TL: 0.8 in	L/263	(8-9)	L/240
TCDL: 14	TPI 1-2007	BC: 0.88 (8-9)	Vert LL: 0.36 in	L/585	(8-9)	L/240
BCLL: 0	Rep Mbr Increase: Yes	Web: 0.35 (5-11)	Horz TL: 0.02 in		7	
BCDL: 7	Lumber D.O.L.: 115 %					

Reaction Summary

JT	Brg Combo	Brg Width	Rqd Brg Width	Max React	Max Grav Uplift	Max Wind Uplift	Max Uplift	Max Horiz
1	1	3.5 in	1.79 in	1,681 lbs				140 lbs
7	1	3.5 in	1.79 in	1,681 lbs				

Material Summary

TC	DFL #1B 2 x 4
BC	DFL #2 2 x 6
Webs	DFL Stud 2 x 4

Bracing Summary

TC Bracing:	Sheathed or Purlins at 3-4-0, Purlin design by Others.
BC Bracing:	Sheathed or Purlins at 10-0-0, Purlin design by Others.

Loads Summary

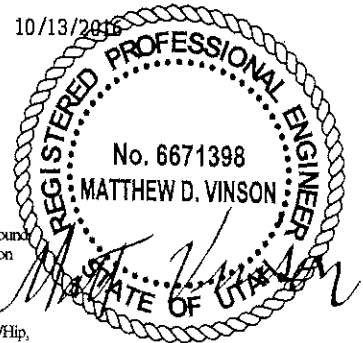
- This truss has been designed for the effects due to 10 psf bottom chord live load plus dead loads.
- This truss has been designed for the effects of balanced snow loads for hips/gables in accordance with ASCE7 - 10 except as noted, with the following user defined input: 50 psf ground snow load. NOTE: Conservatively, all flat/sloped roof factors have been ignored and the ground snow load has been used for the roof snow load, DOL = 1.15. If the roof configuration differs from hip/gable, Building Designer shall verify snow loads.
- This truss has not been designed for the effects of unbalanced snow loads.
- This truss has been designed for the effects of wind loads in accordance with ASCE7 - 10 with the following user defined input: 115 mph (Factored), Exposure C, Enclosed, Gable/Hip, Risk Category II, Overall Bldg Dims 60 ft x 99 ft, h = 20 ft, Not End Zone Truss, Both end webs considered. DOL = 1.60
- This truss has been designed for the effects of a 35 psf live load computed in accordance with IRC 2015 assuming slope = 5/12 and area supported = 52 ft², DOL = 125 %.
- Unbalanced roof live loads have not been considered.
- Minimum storage attic loading has not been applied in accordance with IRC 301.5

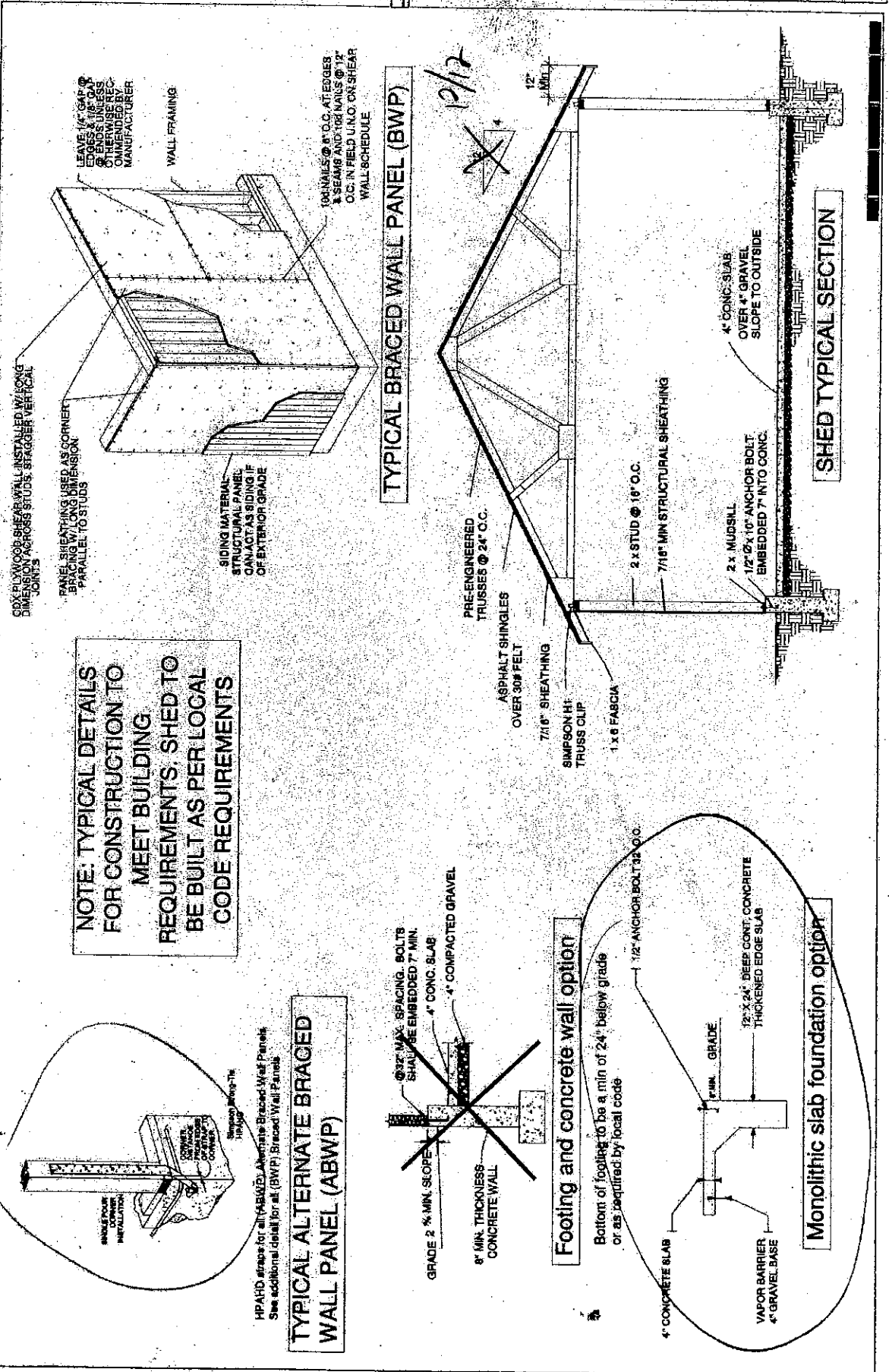
Member Forces Summary

Table indicates: Member ID, max CSI, max axial force, (max compr. force if different from max axial force). Only forces greater than 300lbs are shown in this table.									
TC	1-2	0.874	-2,067 lbs	3-4	0.715	-414 lbs	5-6	0.843	-1,356 lbs
	2-3	0.843	-1,356 lbs	4-5	0.715	-414 lbs	6-7	0.874	-2,067 lbs
BC	7-8	0.486	1,195 lbs	8-9	0.376	1,195 lbs	9-1	0.508	1,195 lbs
Webs	2-9	0.207	619 lbs	5-11	0.351	-1,118 lbs			
	3-11	0.351	-1,118 lbs	6-8	0.207	619 lbs			

Notes:

- Unless noted otherwise, do not cut or alter any truss member or plate without prior approval from a Professional Engineer.
- Attic floor area has been designed for storage with a 20 psf floor live and a 5 psf floor dead load.
- When this truss has been chosen for quality assurance inspection, the Effective Tooth Count Method per TPI 1-2002/A3.4 shall be used.
- Brace bottom chord with approved sheathing or purlins per Bracing Summary.
- At least one web of this truss has been designed with a panel point in the web. All panel points on such webs shall be braced laterally perpendicular to the plane of the truss. Lateral braces shall be installed within 6" of each web panel point.
- Creep has been considered in the analysis of this truss.
- Listed wind uplift reactions based on MWFRS Only loading.



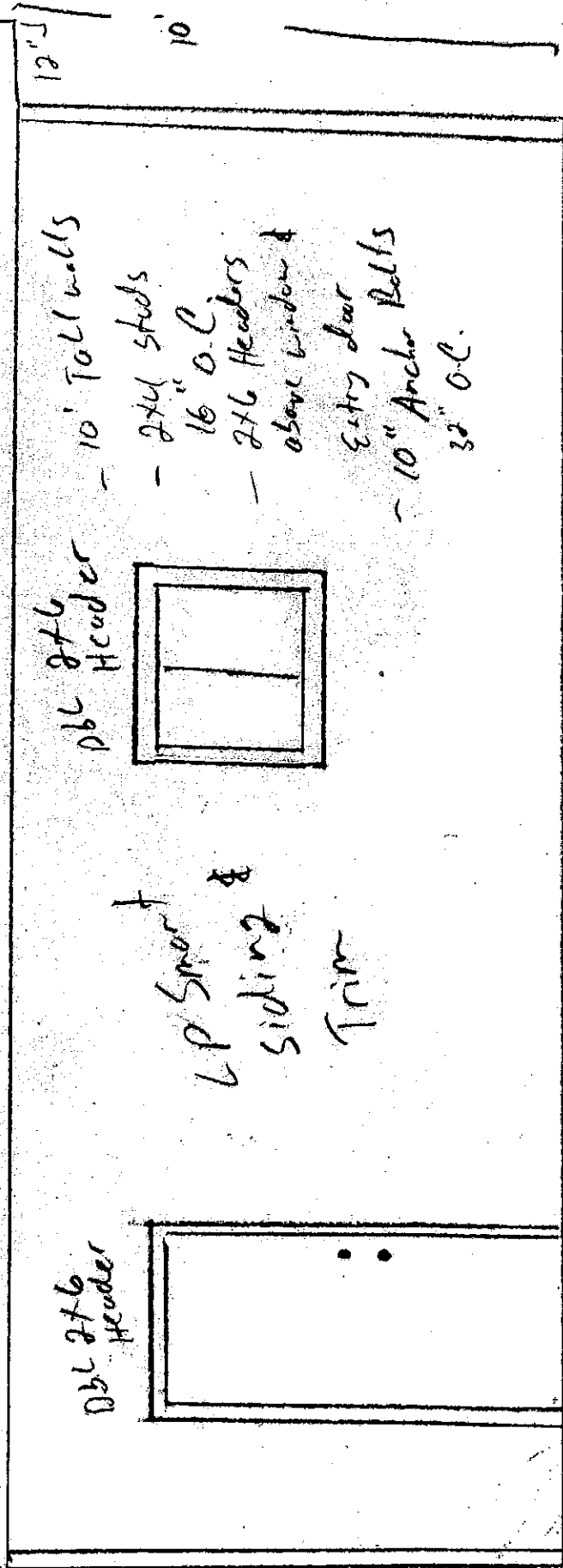


- 12' from ground to peak

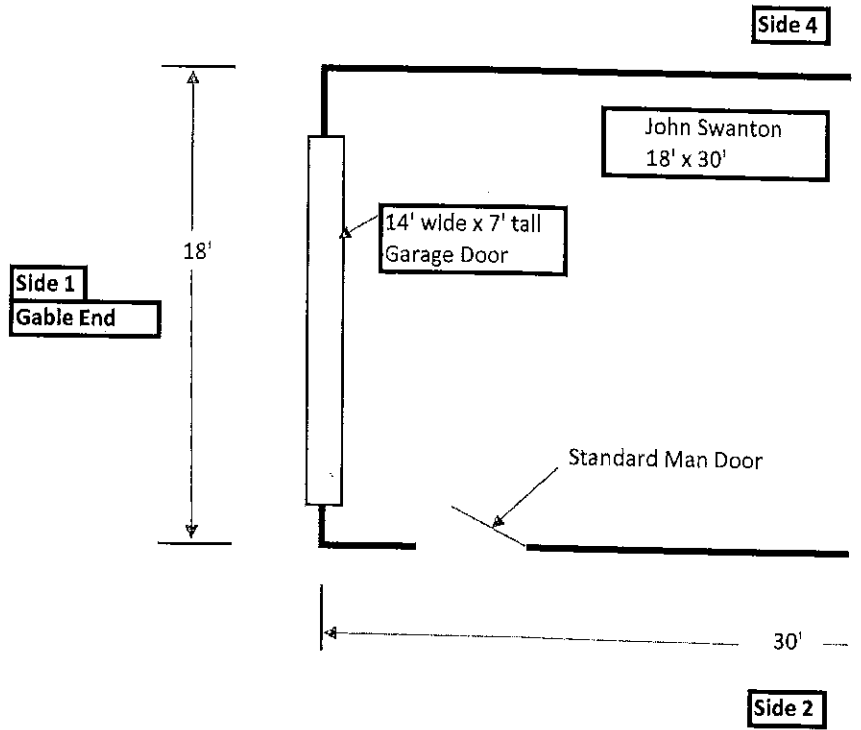
- 12/12 pitch Detail shingles

- See Truss Architectural

- 30g'



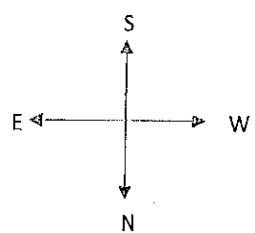
- 3' - 24' - 3'



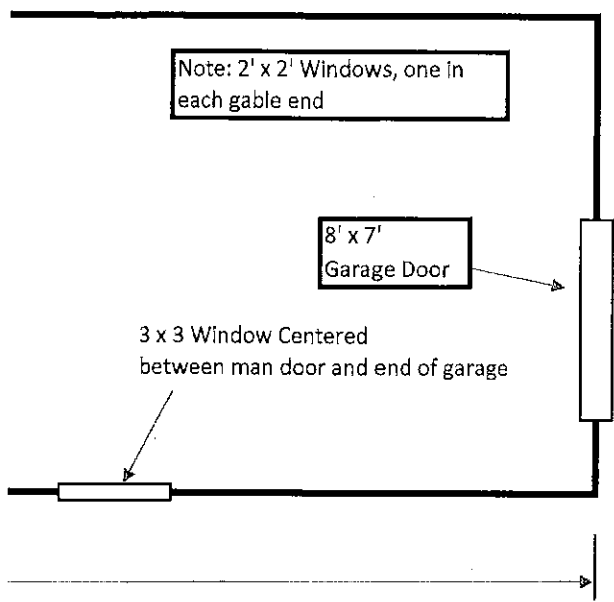
Note: 2' x 2' Windows, one in each gable end

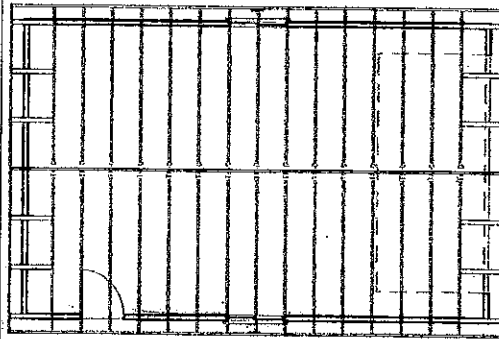
8' x 7' Garage Door

3 x 3 Window Centered between man door and end of garage

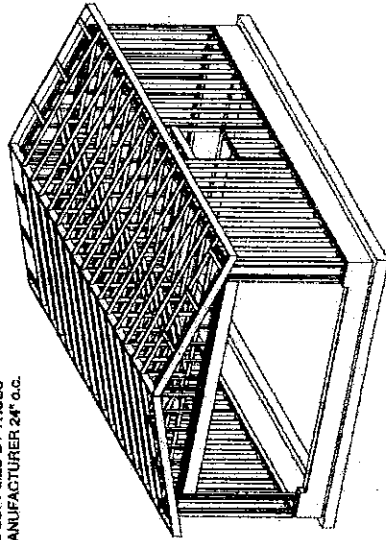


Side 3
Gable End



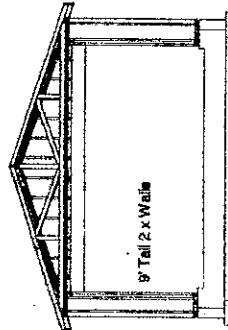
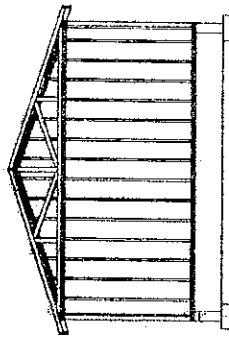


SHED ROOF
PRE-ENGINEERED TRUSSES
AS SUPPLIED BY TRUSS
MANUFACTURER 24" o.c.



ROOF FRAMING

SCALE 1/8"=1'



9" Tall 2 x Walls

WALL FRAMING SECTIONS

SCALE 1/8"=1'

General Framing: (Douglas Fir)

- Minimum header sizes shall be according to the following table unless otherwise noted. Header sizes (single story construction)

2'-0" to 4'-0" Span	2-2x4's
4'-0" to 6'-0" Span	2-2x6's
6'-0" to 8'-0" Span	2-2x8's
8'-0" to 10'-0" Span	2-2x10's
10'-0" to 12'-0" Span	2-2x12's or as noted on plan

 Brace all exterior walls and cross-stud partitions at each end of building and at least every 25' of length by one of the following:
 - Simpson WLB 128 wall bracing with 3-16d nails at each end and 1-8d nails at each stud.
 - Plywood sheathing of a minimum thickness of 7/16 inch.
 - Pine strapping:
 - Pineblock stud spaces over 10' in height, furred spaces, soffits, drop ceilings, cove ceilings, stair stringers at top and bottom of run, bearing walls and ceiling joist lines, etc.
 - Firestop openings around vents, pipes, ducts, chimneys, and fireplaces at ceiling and floor levels with approved noncombustible materials.
 - CDX plywood is not approved where exposed to weather, i.e., roof overhangs.
 - Exterior wall framing to be 2"x4" studs at 16" o.c. interior wall, framing at non-bearing walls to be 2"x4" studs at 24" o.c. and at bearing walls 2"x4" studs at 16" o.c. with double top plate.
 - Shear wall to be 7/16" Sheathing, see detail.
 - All stress grade lumber shall comply with WGLA specs and bear approval stamp on all pieces in place.
 - Framing lumber shall be Douglas Fir construction grade Fb 1450 or better unless otherwise noted.
 - Nailing to be per current U.B.C. unless otherwise noted.
 - All bearing partitions shall have double top plates.
 - Structural glued laminated timbers to be stamped by an approved agency.
 - Use redwood or pressure treated sole plates at all exterior walls.

Roof Framing:

- Fascia to be 2"x Douglas Fir.
- For soffit size see details.
- For spans and dimensions refer to floor plans.
- Trusses are to be an approved truss design from the truss manufacturer's engineer.
- Use Simpson H-1 hurricane anchors at each truss or rafter to wall connection.
- Solid blocking required between joists, rafters, and trusses over all bearing walls. Such blocking shall be 1 1/2" minimum thickness and full depth of joists, rafters, or trusses.
- Minimum header sizes shall be according to the header size table unless otherwise noted.
- Base of design roof live/load of 37 psf, and roof dead load of 15 psf.
- Plywood roof decking to be Min 1/2" thick, 240, CDX or 5/8 wafer.

Certificate of License Renewal

Your license has been renewed and this temporary Certificate of License Renewal allows you to practice. In approximately 15 to 30 working days you will receive your wallet card and wall certificate in the mail. If you do not receive it within this time, please contact DOPL immediately at (801) 530-6628 or (866) 275-3675 (toll-free in Utah only).

DIVISION OF OCCUPATIONAL & PROFESSIONAL LICENSING

Certificate of License Renewal

Control Number: 8779933-5501-20151229

RENEWAL DATE: 12/29/2015

EXPIRATION DATE: Thu Nov 30 2017

ISSUED TO: Built Rite LLC

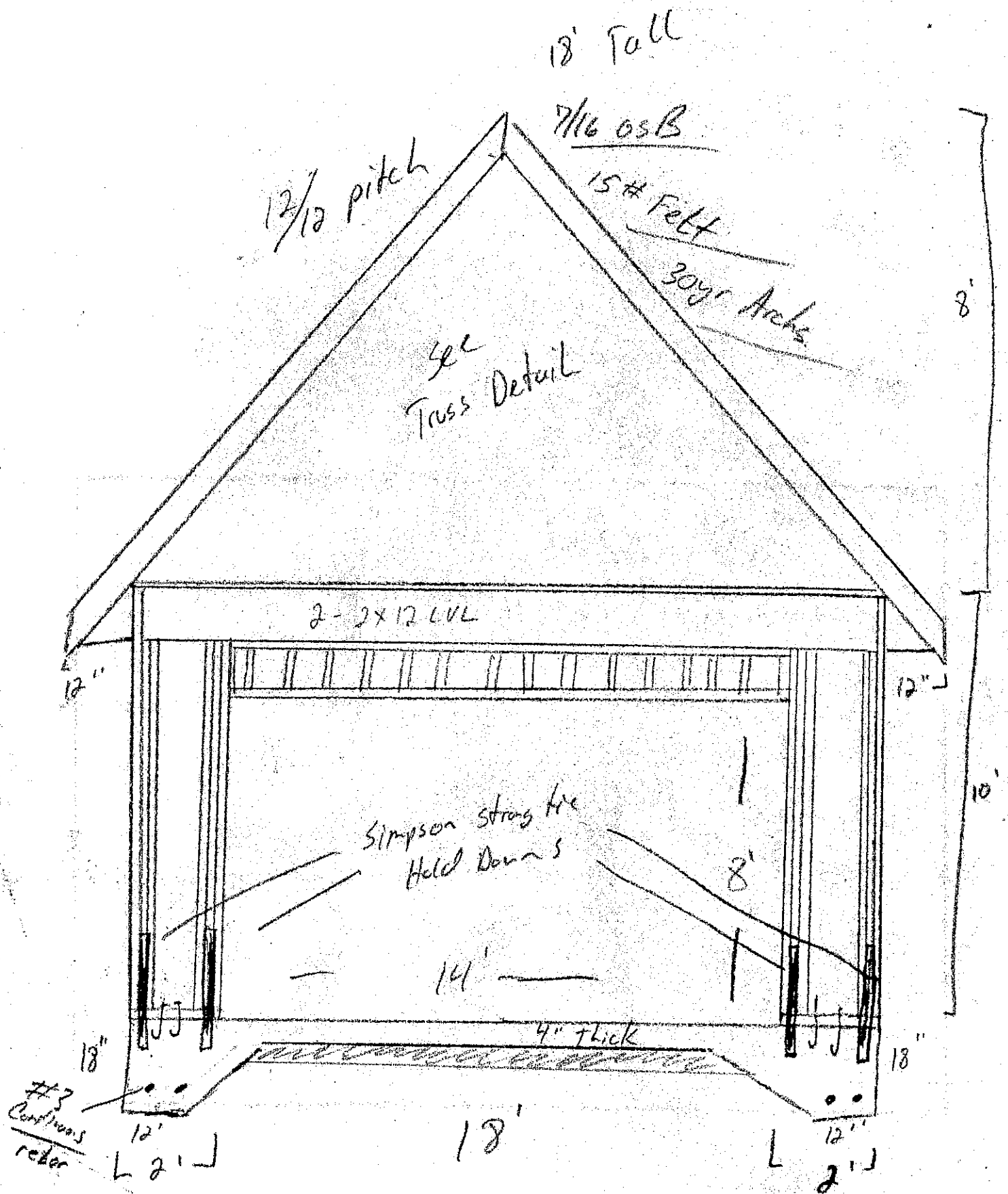


REFERENCE NUMBER(S), CLASSIFICATION(S) & DETAILS(S)

8779933-5501

Contractor With LRF

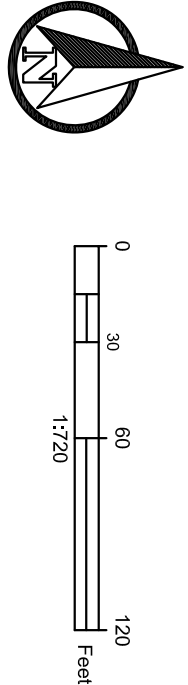
Please note that DOPL reserves the right to initiate action at any time against a licensee who did not meet the renewal/reinstatement requirements at the time this license was issued.



SUMMERFIELD PLACE PHASE 2
PART OF SEC 20, T11N, R1E, S1M
NIBLEY CITY, CACHE COUNTY, UTAH



SURVEY NARRATIVE
THIS SURVEY WAS ORDERED BY KELLY C. LOOSE FOR THE PURPOSE OF CREATING RESIDENTIAL BUILDING LOTS. PREVIOUS SURVEYS DONE IN THIS AREA FOR SURROUNDING SUBDIVISIONS WERE REVIEWED AND BASED ON THE ESTABLISHED THE SURVEY OF THE SUBDIVISION WAS REVIEWED AND BASED ON THE ESTABLISHED THE GEODETIC, BASED ON WGS-84, NORTH BEING PROJECTED FROM THE NIBLEY GPS MONUMENT SET BY THE COUNTY SURVEYOR IN 1998. NUMBER 5 REBARS WITH CAPS STAMPED "STEVEN C EARL, PLUS 318575" WERE SET AT ALL LOT CORNERS. EXPANSION WALLS WITH WASHERS ARE TO BE SET AT THE INTERSECTION OF THE CURB AND THE PROLONGATION OF THE SIDE LOT LINES AFTER CONSTRUCTION.



COUNTY RECORDER'S NO. _____
STATE OF UTAH, COUNTY OF CACHE, RECORDED AND FILED AT THE
REQUEST OF _____ TIME _____ FEE _____
DATE _____
ABSTRACTED _____
INDEX
FILED IN: FILE OF PLATS
MICHAEL GLEED, COUNTY RECORDER

APPROVAL AS TO FORM
APPROVED AS TO FORM THIS _____ DAY OF _____
2016.
CITY ATTORNEY _____

ENGINEER'S CERTIFICATE
I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE, AND THE CITY ORDINANCE. THIS _____ DAY OF _____, 2016.
CITY ENGINEER _____

PLANNING COMMISSION APPROVAL AND ACCEPTANCE
PRESENTED TO THE NIBLEY CITY PLANNING COMMISSION THIS _____ DAY OF _____, 2016, AT WHICH TIME THIS SUBDIVISION WAS RECOMMENDED TO THE CITY COUNCIL FOR APPROVAL.
PLANNING COMMISSION CHAIRMAN _____

LEGEND

- SECTION LINE
- PROPERTY LINE
- RIGHT-OF-WAY
- STREET CENTERLINE
- PUBLIC UTILITY EASEMENT
5-FEET WIDE WHERE SHOWN,
EXCEPTIONS NOTED
- MINIMUM BUILDING SETBACK
FRONT = 30 FEET
SIDE = 10 FEET
REAR = 25 FEET
- PUBLIC STREET HEREBY DEDICATED
- PUBLIC PEDESTRIAN
RIGHT-OF-WAY HEREBY
DEDICATED
- STREET ADDRESS

LINE TABLE		
LINE	LENGTH	BEARING
L1	18.48'	S033022°E
L2	27.34'	N67°43'47"W
L3	11.41'	S59°17'24"W
L4	13.48'	S033022°E
L5	13.48'	N033022°W
L6	12.01'	S22°00'33"W

CURVE TABLE

CURVE	LENGTH	RADIUS	Δ	CH. BEARING	CHORD
C1	157.50'	443.00'	202°22'15"	N68°12'05"W	156.67'
C2	189.61'	357.00'	174°13'53"W	187.39'	
C3	98.21'	170.00'	333°05'57"	S17°02'58"E	96.85'
C4	178.86'	170.00'	67°10'57"	N36°36'29"W	17.85'
C5	82.37'	230.00'	203°11'17"	N69°51'47"W	81.93'
C6	87.91'	230.00'	215°35'56"	N68°03'57"W	87.37'
C7	8.49'	530.00'	2°06'57"	S35°13'35"W	8.49'
C8	86.28'	230.00'	91°9'40"	S92°45'52"W	86.19'
C9	19.20'	530.00'	2°04'37"	N15°16'57"E	19.20'
C10	20.23'	25.00'	46°21'59"	N65°14'7"W	19.68'
C11	56.64'	60.00'	54°05'07"	N37°01'13"W	54.86'
C12	63.30'	60.00'	60°22'04"	N64°19'52"E	60.41'
C13	20.09'	60.00'	19°11'17"	S65°54'57"E	20.00'
C14	61.30'	60.00'	58°32'17"	S47°03'10"E	58.67'

CURVE TABLE

CURVE	LENGTH	RADIUS	Δ	CH. BEARING	CHORD
C15	91.01'	60.00'	86°54'19"	S28°40'08"W	82.33'
C16	6.07'	25.00'	13°54'33"	S62°10'16"W	6.05'
C17	17.32'	25.00'	39°15'30"	S35°22'20"W	16.88'
C18	83.77'	470.00'	10°12'42"	S10°25'04"W	83.66'
C19	3.24'	470.00'	0°23'47"	S58°56'32"W	3.24'
C20	101.91'	170.00'	34°20'49"	S12°15'23"E	100.39'
C21	30.23'	170.00'	10°11'44"	N34°31'24"W	30.19'
C22	77.98'	230.00'	19°25'32"	S29°54'15"E	77.61'
C23	79.04'	230.00'	19°41'27"	S10°20'45"E	78.66'
C24	149.91'	423.00'	20°18'59"	N69°10'26"W	149.21'
C25	152.91'	372.00'	23°14'47"	N77°53'01"W	151.66'
C26	136.54'	200.00'	39°07'00"	S20°03'31"E	133.91'
C27	155.45'	200.00'	44°32'03"	N17°21'00"W	151.57'
C28	149.16'	500.00'	17°05'32"	N13°27'48"E	148.60'

NOTES & RESTRICTIONS

- THIS PROPERTY IS LOCATED IN THE VICINITY OF PROPERTY THAT IS USED FOR AGRICULTURAL PURPOSES. IT MAY BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY OR MAY NOT IN THE FUTURE BE CONDUCTED IN THIS AREA AND THAT SUCH USES ARE PREVIOUSLY EXISTING USES. AGRICULTURAL USES AND SITUATIONS MUST BE SOUND AGRICULTURAL PRACTICES AND NOT BEAR A DIRECT THREAT TO THE PUBLIC HEALTH AND SAFETY.
- AREAS IN NIBLEY CITY HAVE GROUNDWATER PROBLEMS DUE TO THE VARYING DEPTHS OF A FLUCTUATING WATER TABLE. THE CITY'S APPROVAL OF A BUILDING PERMIT OR CONSTRUCTION PLANS DOES NOT CONSTITUTE A REPRESENTATION BY THE CITY THAT BUILDING AT ANY SPECIFIED ELEVATION OR LOCATION WILL SOLVE SUBSURFACE OR GROUNDWATER PROBLEMS. IN ADDITION, CONCERNS OF BUILDING ELEVATION AND/OR GRADING AND DRAINAGE ARE UNDOUBTEDLY OF THE PROPERTY OWNER'S RESPONSIBILITY. THE CITY'S APPROVAL OF A BUILDING PERMIT DOES NOT CONSTITUTE A REPRESENTATION BY THE CITY THAT BUILDING AT ANY SPECIFIED ELEVATION OR LOCATION WILL SOLVE SUBSURFACE OR GROUNDWATER PROBLEMS. IN ADDITION, CONCERNS OF BUILDING ELEVATION AND/OR GRADING AND DRAINAGE ARE UNDOUBTEDLY OF THE PROPERTY OWNER'S RESPONSIBILITY. THE CITY'S APPROVAL OF A BUILDING PERMIT DOES NOT CONSTITUTE A REPRESENTATION BY THE CITY THAT BUILDING AT ANY SPECIFIED ELEVATION OR LOCATION WILL SOLVE SUBSURFACE OR GROUNDWATER PROBLEMS. IN ADDITION, CONCERNS OF BUILDING ELEVATION AND/OR GRADING AND DRAINAGE ARE UNDOUBTEDLY OF THE PROPERTY OWNER'S RESPONSIBILITY.
- PURSUANT TO UTAH CODE ANN. § 54-3-3-27 THIS PLAT CONVEYS TO THE OWNERS OF OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
- PURSUANT TO UTAH CODE ANN. § 17-27a-603(4)(c)(i) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE P.U.E. AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF ROCKY MOUNTAIN POWER UTILITY EASEMENTS. THE CITY'S APPROVAL OF THIS DEVELOPMENT, THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
(i) A RECORDED EASEMENT OR RIGHT-OF-WAY
(ii) THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
(iii) TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND FACILITIES OR
(iv) ANY OTHER PROVISION OF LAW.

SURVEY CERTIFICATE

I, STEVEN C. EARL, A REGISTERED LAND SURVEYOR, HOLD CERTIFICATE NO. 318575-2201, AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH, AND DO HEREBY CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT, WHICH IS ACCURATELY DESCRIBED THEREWITH, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS SUMMERFIELD PLACE PHASE 2, AND THAT THE SAME HAS BEEN SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

LEGAL DESCRIPTION

A PART SECTION 20, TOWNSHIP 11 NORTH, RANGE 1 EAST, SALT LAKE MERIDIAN, LOCATED IN THE CITY OF NIBLEY, COUNTY OF CACHE, STATE OF UTAH, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 23 OF SUMMERFIELD PLACE PHASE 1;
THENCE ALONG THE BOUNDARY OF SAID PHASE 1 THE FOLLOWING SIX COURSES:
1. N69°29'58"E 162.00 FEET;
2. N03°02'02"W 5.00 FEET;
3. N69°29'58"E 176.17 FEET;
4. S7°59'15"E 229.94 FEET;
5. S02°29'27"E 230.00 FEET;
6. S92°29'36"W 243.46 FEET TO THE NORTH LINE OF LOT 18 OF SUMMERFIELD PLACE PHASE 1;
THENCE ALONG THE NORTHERLY LINE OF LOTS 18, 17, 16, 15, 14 AND 13 OF SAID SUMMERFIELD PLACE PHASE 1, THE FOLLOWING TWO COURSES:
1. WESTERLY 157.50 FEET ALONG A CURVE CONCAVE TO THE NORTH WITH A RADIUS OF 443.00 FEET AND A LONG CHORD BEARING N69°12'05"W 156.67 FEET;
2. WESTERLY 189.61 FEET ALONG A CURVE CONCAVE TO THE SOUTH WITH A RADIUS OF 357.00 FEET AND A LONG CHORD BEARING N47°13'53"W 187.39 FEET;
THENCE N03°04'57"W 583.37 FEET ALONG THE BOUNDARY OF SAID PHASE 1 TO THE POINT OF BEGINNING.
CONTAINING 5.22 ACRES, MORE OR LESS.

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, STREETS, AND PEDESTRIAN HIGHWAYS, AND TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREINAFTER KNOWN AS: SUMMERFIELD PLACE PHASE 2, AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL STREETS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITY LINES AND FACILITIES. FURTHERMORE, WE INCORPORATE ALL NOTES AND RESTRICTIONS AS LISTED HEREON.

THE KELLY C. LOOSE TRUST dated the 3rd day of December, 2010
By: _____, Trustee

ACKNOWLEDGMENT

STATE OF UTAH }
COUNTY OF CACHE } \$
ON THIS _____ DAY OF _____, 20____, PERSONALLY
APPEARED BEFORE ME, _____, TRUSTEE OF THE KELLY C. LOOSE TRUST DATED THE 3RD DAY OF DECEMBER, 2010, AND THE TRUSTISTE WHO SUBSIGNED THE SAID TRUST NAME TO THE FOREGOING INSTRUMENT ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN SAID TRUST NAME, AND THAT SAID TRUST EXECUTED THE SAME.

NOTARY PUBLIC SIGNATURE: _____
NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____
A NOTARY PUBLIC COMMISSIONED IN UTAH

UTILITY COMPANY APPROVALS

THE UTILITY EASEMENTS SHOWN ON THIS PLAT ARE APPROVED
QUESTAR GAS _____ DATE _____
ROCKY MOUNTAIN POWER _____ DATE _____
CENTURY LINK COMMUNICATIONS _____ DATE _____
COMCAST CORPORATION _____ DATE _____

MAYOR'S APPROVAL AND ACCEPTANCE

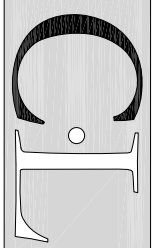
PRESENTED TO THE NIBLEY CITY MAYOR THIS _____ DAY OF _____, 2016, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

MAYOR _____



FINAL PLAT

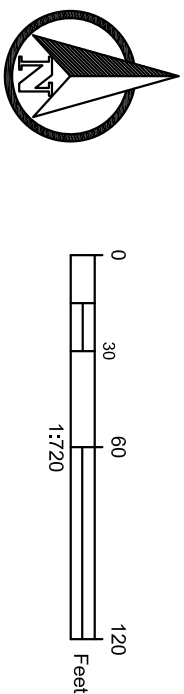
SUMMERFIELD PLACE
PHASE 2



Cache County Landmark
Surveyors
Engineers
Surveyors
Eminent
1011 West 400 North
Salt Lake City, UT 84119
Loganville, UT 84301
435.713.0099
DATE: 4 OCTOBER 2016
SCALE: 1" = 60'
CHECKED BY: L. ANDERSON
APPROVED BY: S. EARL
PROJECT NUMBER: 555-1801
SHEET: 1 of 1

PART OF SEC 20, T11N, R1E, SLM
NIBLEY CITY, CACHE COUNTY, UTAH

03-173-0451
BREVIN BAUGH



1/E

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS _____ DAY OF _____
2016.

ENGINEER'S CERTIFICATE

I CERTIFY THAT I HAVE EXAMINED THIS PLAN AND FIND IT TO BE CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE AND THE CITY ORDINANCE. THIS _____ DAY OF _____, 2016.

PRESENTED TO THE NIBLEY CITY PLANNING COMMISSION THIS
DAY OF _____, 2016, AT WHICH TIME THIS SUBDIVISION WAS
RECOMMENDED TO THE CITY COUNCIL FOR APPROVAL.

MAYOR'S APPROVAL AND ACCEPTANCE
PRESENTED TO THE NIBLEY CITY MAYOR THIS _____ DAY OF
_____, 2016, AT WHICH TIME THIS SUBDIVISION WAS
APPROVED AND ACCEPTED.

1. STEVEN ENRI, A REGISTERED LAND SURVEYOR, HOLD CERTIFICATE NO. 318679-2201, AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH, AND DO HEREBY CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT, WHICH IS ACCURATELY DESCRIBED THEREWITH, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS SUMMERFIELD PLACE, PHASE 1, AND THAT THE SAME HAS BEEN SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

A PART SECTION 20, TOWNSHIP 11 NORTH, RANGE 1 EAST, SALT LAKE MERIDIAN, LOCATED IN THE CITY OF NIBLEY, COUNTY OF CACHE, STATE OF UTAH, DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST 1/16 CORNER COMMON TO SECTION 17 & 20,
 TOWNSHIP 11 NORTH, RANGE 1 EAST, SALT LAKE MERIDIAN, THENCE
 S00°29'27"E 854.26 FEET ALONG THE EAST 1/16 LINE OF SAID SECTION 20
 THENCE ALONG THE NORTH BOUNDARY OF LOTS 19 AND 18 OF
 SECTION 20 THENCE ALONG THE FOLLOWING TWO COURSES:
 1. S89°56'13"W 100.48 FEET TO THE BEGINNING OF A CURVE CONCAVE TO
 THE NORTH WITH HAVING A RADIUS OF 443.00 FEET;
 2. WESTLY 85.12 FEET ALONG SAID CURVE THAT HAS A LONG CHORD
 BEARING N84°53'29"W 84.99 FEET;
 THENCE N92°7'36"E 243.46 FEET;
 THENCE N02°59'27"W 230.00 FEET;
 THENCE N75°15'15"W 229.94 FEET;
 THENCE S89°29'58"W 176.17 FEET;
 THENCE S00°02'E 5.00 FEET;
 THENCE S89°29'58"W 162.00 FEET;
 THENCE S03°40'E 583.37 FEET TO THE NORTH LINE OF LOT 13 OF SAID
 SUNDSTADT PARKS P.U.D.;
 THENCE ALONG SAID NORTH LINE AND ITS PROLONGATION THE FOLLOWING
 TWO COURSES:
 1. WESTLY 5.91 FEET ALONG A CURVE CONCAVE TO THE SOUTH WITH A
 RADIUS OF 357.00 FEET AND A LONG CHORD BEARING N68°55'47"W 5.39
 FEET;
 2. S89°36'20"W 1221.15 FEET TO THE EAST LINE OF 1100 WEST STREET;
 THENCE NORTHWESTLY 73.40 FEET ALONG SAID EAST LINE AND A CURVE
 CONCAVE TO THE SOUTH WITH A RADIUS OF 333.00 FEET AND A LONG
 CHORD BEARING N54°40'07"E 73.25 FEET;
 THENCE N03°00'45"W 3.18 FEET ALONG SAID EAST LINE;
 THENCE S89°36'20"W 33.00 FEET ALONG THE NORTH-NORTH 1/64 LINE OF
 SAID SECTION 20;
 THENCE N00°30'45"W 660.04 FEET ALONG THE WEST-EAST 1/64 LINE OF
 SAID SECTION 20;
 THENCE N89°29'58"E 664.23 FEET ALONG THE NORTH LINE OF SAID SECTION
 20 TO THE POINT OF BEGINNING,
 CONTAINING 6.80 ACRES, MORE OR LESS.

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, STREETS, AND PEDESTRIAN RIGHTS-OF-WAY TOGETHER WITH EASEMENTS AS SET FORTH TO BE

SUMMERFIELD PLACE PHASE 1
AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL
STREETS AND OTHER AREAS SHOWN ON THIS PLAN AS INTENDED FOR
PUBLIC USE. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO ANY
PERSON PURCHASING ANY INTEREST IN THE ESTATE SHOWN ON THIS PLAN
THEir AGREEMENT TO OPERATE THE PUBLIC UTILITIES SHOWN ON THIS PLAN
SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE, AND OPERATION
OF UTILITY LINES AND FACILITIES. FURTHERMORE, WE INCORPORATE ALL
NOTES AND RESTRICTIONS AS LISTED HEREON.

THE KELLY C. LOOSLE TRUST dated the 3rd day of December, 2010

By: _____, Trustee

STATE OF UTAH }
COUNTY OF CACHE }

ON THIS DAY OF 20, PERSONALLY APPEARED BEFORE ME, KELLY C. LOOSE, TRUSTEE OF THE KELLY C. LOOSE TRUST DATED THE 3RD DAY OF DECEMBER, 2010, AND THE TRUSTS WHO SUBSCRIBED THE SAID TRUST NAME TO THE FOREGOING INSTRUMENT, ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN SAID TRUST NAME, AND THAT SAID TRUST EXECUTED THE SAME.

NOTARY PUBLIC SIGNATURE: _____

NOTARY PUBLIC FULL NAME: _____

COMMISSION NUMBER: _____

MY COMMISSION EXPIRES: _____

THE UTILITY EASEMENTS SHOWN ON THIS PLAT ARE APPROVED

QUESTAR GAS	DATE
ROCKY MOUNTAIN POWER	DATE
CENTURY LINK COMMUNICATIONS	DATE
COMCAST CORPORATION	DATE

PRESENTED TO THE NIBLEY CITY MAYOR THIS _____ DAY OF _____, 2016, AT WHICH TIME THIS SUBDIVISION WAS _____, APPROVED AND ACCEPTED.

INDEX
FILED IN: FILE OF PLATS

MICHAEL GLEED, COUNTY RECORDER

CITY ATTORNEYCITY ENGINEER

PLANNING COMMISSION CHAIRMAN

MAYOR

•

FINAL PLAT

SUMMERFIELD PLACE PHASE 1

Cache • Landmarks

Engineers

Surveyors

Planners

1011 West 400 North

DATE:	Suite 130 Logan, UT 84321 435.713.0099
SCALE:	1" = 60'
CALCULATIONS BY:	S. EARL

L. ANDERSON
APPROVED BY:
S. EARL
PROJECT NUMBER:
555-1601

SHEET:

SITE-CONSTRUCTION DOCUMENTS
SUMMERFIELD PLACE

LOCATED AT 2650 S. 1000 W.
NIBLEY, UTAH 84321

GENERAL SITE NOTES

- A. NO WORK IS TO BEGIN UNTIL NECESSARY PERMITS HAVE BEEN OBTAINED.
- B. REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. GENERAL CONTRACTOR TO POINT OUT ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- C. ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES.
- D. VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE.
- E. GENERAL CONTRACTOR RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS.
- F. GENERAL CONTRACTOR TO COORDINATE ALL UTILITY WORK WITH THE APPROPRIATE UTILITY PROVIDER. GENERAL CONTRACTOR TO VERIFY AND FOLLOW ALL UTILITY PROVIDER REQUIREMENTS, PROCEDURES, STANDARDS, AND SPECIFICATIONS.
- G. GENERAL CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL FOR FINAL CHECKOUT OF ALL FACILITIES BY OWNERS REPRESENTATIVE.
- H. GENERAL CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP AT COMPLETION OF WORK.
- I. ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF NIBLEY STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS. LATEST REVISION THEREOF. IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN A COPY OF THIS MANUAL FROM THE NIBLEY CITY PUBLIC WORKS DEPARTMENT FOR REFERENCE DURING ALL SITE CONSTRUCTION. WATER AND SEWER TO COMPLY WITH NIBLEY CITY STANDARDS.
- J. ALL ASPHALT CUTS FOR UTILITIES AND PAVEMENT WITHIN PUBLIC RIGHTS OF WAY SHALL BE IN ACCORDANCE WITH THE CITY OF NIBLEY STANDARDS AND SPECIFICATIONS. "WORK IN R/W" PERMITS ARE REQUIRED.
- K. GENERAL CONTRACTOR SHALL PROVIDE COMPREHENSIVE TRAFFIC CONTROL PLAN WHICH SHALL BE SUBMITTED TO AND APPROVED BY THE CITY PRIOR TO ANY WORK IN THE PUBLIC R/W. CONTRACTOR IS RESPONSIBLE FOR SAFETY TO THE PUBLIC BY MINIMIZING THE INTERUPTION OF THE USE OF ROADS AND PROVIDING SIGNS, FLARES, BARRICADES, ETC. AS NECESSARY. TRAFFIC CONTROL TO BE COMPLIANT WITH CURRENT MUTCD. WORK SHALL COMPLY WITH "WORK IN R/W" PERMIT.
- L. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION AND ELEVATION OF EXISTING UTILITIES WHICH MAY BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION. IF A CONFLICT DOES EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION SO THAT ADJUSTMENTS CAN BE MADE.
- M. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL UTILITIES WHEN CONSTRUCTION WORK BEGINS IN THE VICINITY OF ANY UTILITY LINES AND TO ARRANGE FOR A REPRESENTATIVE OF THE UTILITY TO BE PRESENT IF THE CONTRACTOR'S OPERATIONS ARE IN CLOSE PROXIMITY TO ANY LINES IN THEIR EXISTING OR RELOCATED POSITION WHICH COULD CREATE A HAZARDOUS CONDITION.
- N. WHERE THERE IS A CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY, AS APPROVED BY THE NIBLEY CITY ENGINEER.
- O. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- P. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTING ENGINEER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
- Q. OWNER/CONTRACTOR IS RESPONSIBLE TO OBTAIN A UPDES STORMWATER DISCHARGE PERMIT AND IS RESPONSIBLE FOR DEVELOPING AND IMPLEMENTING A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS PER THE REQUIREMENTS OF THE UPDES STORMWATER CONSTRUCTION PERMIT (NOI PERMIT # _____).

UTILITY CONTACTS

FIRE PROTECTION:
Hyrum City Fire Dept.
50 North 100 West
Hyrum, Utah 84319
CONTACT: Cordeell Nielsen
TEL: (435) 245-6033

SANITARY SEWER / WATER:
Public Works-Engineering
625 West 3200 South
Nibley, Utah 84321
CONTACT: Justin Maughan
TEL: (435) 752-0431

STORM SEWER AND ROADS:
Public Works-Engineering
625 West 3200 South
Nibley, Utah 84321
CONTACT: Justin Maughan
TEL: (435) 752-0431

POWER:
Rocky Mountain Power
780 North Main
Smithfield, UT 84335
CONTACT: Jim Knight
TEL: (435) 563-2953
james.knight@rockymountainpower.net

NATURAL GAS:
Questar Gas Company
895 West 800 North
Logan, Utah 84321
CONTACT: Crisiti Fedel
TEL: (435) 755-2206
crisiti.fedel@questar.com

TELEPHONE:
Century Link Communications
431 East 26th Street
Ogden, Utah 84401
CONTACT: Tom Larsen
TEL: (385) 245-5314

CABLE TELEVISION:
Comcast Corporation
9075 South 700 West
Sandy, UT 84070
CONTACT: Sheryl Sweeten
TEL: (801) 401-3023
FAX: (801) 255-2711
E-mail: sheryl-sweeten@comcast.com

STORM WATER PERMIT:
STATE OF UTAH
DEPARTMENT OF ENVIRONMENTAL QUALITY
DIVISION OF WATER QUALITY
288 North 1460 West
P.O. Box 144870
Salt Lake City, Utah 84114-4870
TEL: (801) 538-6146
WEBSITE: <https://secure.utah.gov/swp/client>

PROPERTY OWNER/CONTRACTOR

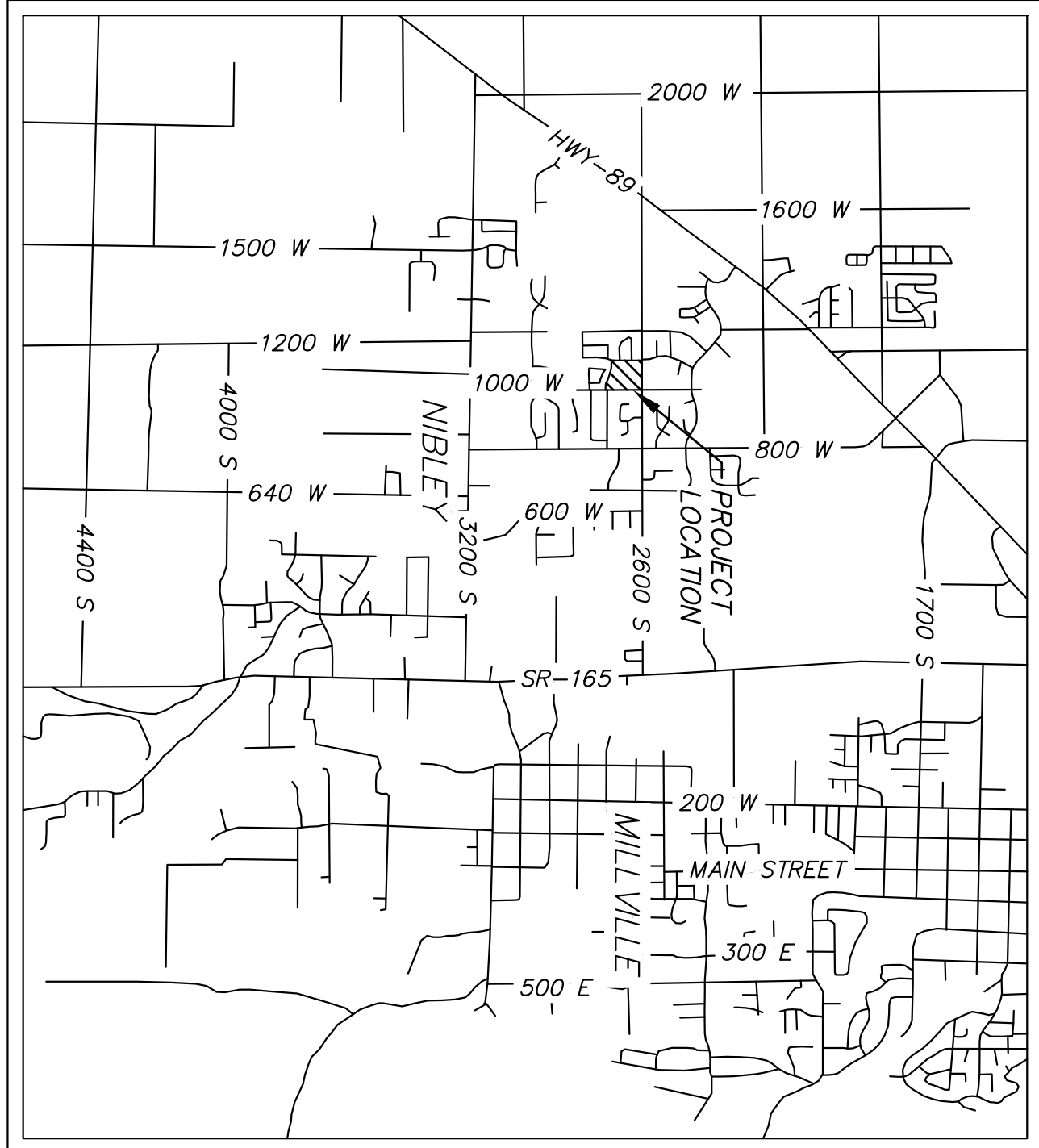
KELLY CLOOSLE
3569 S. HWY 23
Mojaveville, Utah 84339
TEL: (435) 757-7786

CIVIL ENGINEER

CACHE-LANDMARK ENGINEERING
1011 WEST 400 NORTH, SUITE 130
Logan, Utah 84321
ATTN: Steven Earl, P.E., P.L.S.
TEL: (435) 713-0099
FAX: (435) 713-0055
MOB: (435) 787-1199
Email: sear@cacheandmark.com

SHEET INDEX

DESCRIPTION	SHEET
INDEX	C-001
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EROSION CONTROL	C-200
GRADING PLAN	C-300
STORM DRAIN PLAN	C-40
PLAN AND PROFILE	C-500
1000 WEST	C-501
1060 WEST	C-502
1100 WEST	C-503
STANDARD DETAILS 1	C-600
STANDARD DETAILS 2	C-601



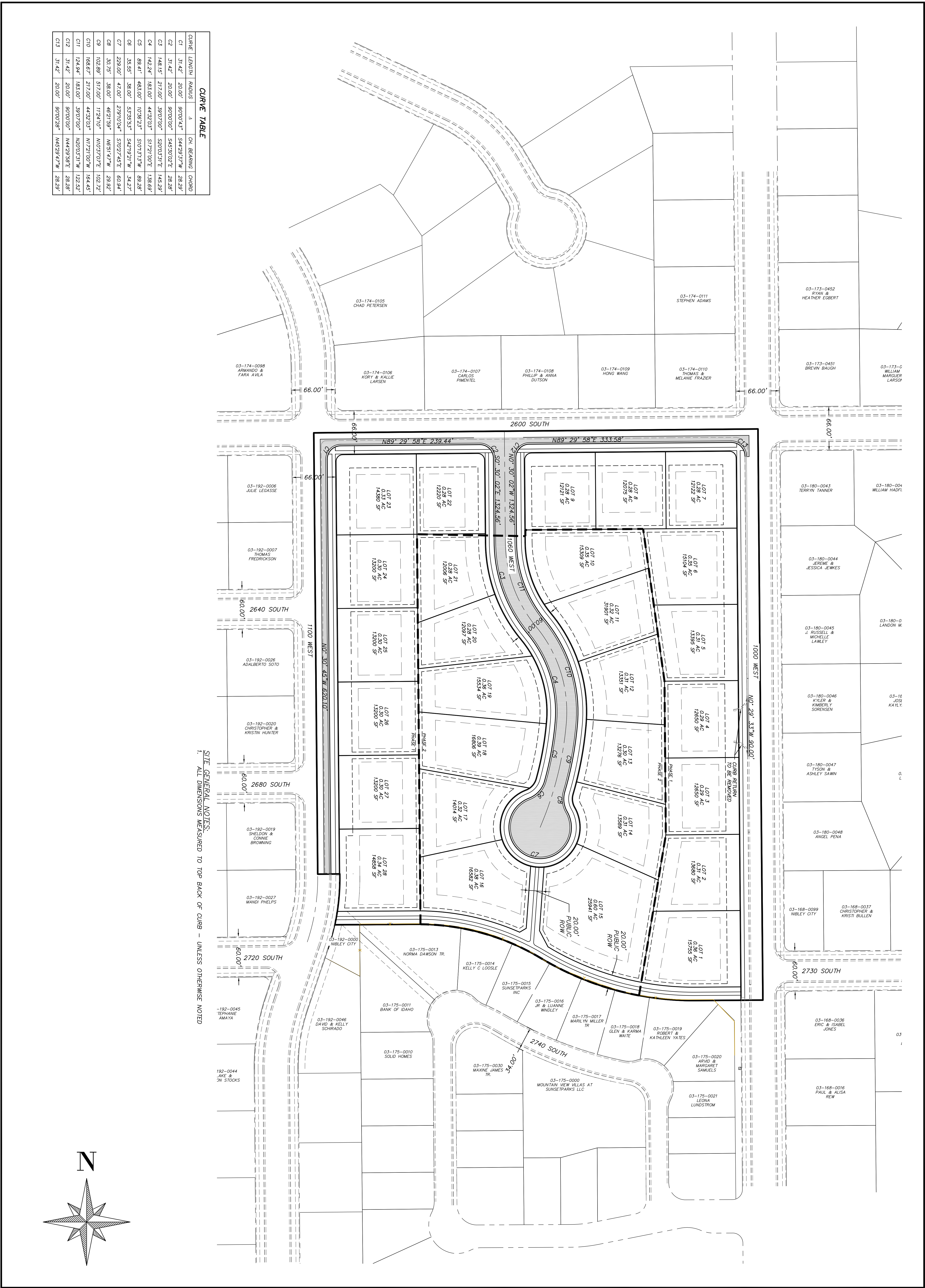
VICINITY MAP
NOT TO SCALE

LEGEND

—	PROPERTY LINE
- - -	RIGHT-OF-WAY LINE
=====	EDGE OF CONCRETE
=====	EXISTING FENCE
-----x-----	EXISTING MAJOR CONTOUR
-----4501-----	EXISTING MINOR CONTOUR
=====	EXISTING CURB AND GUTTER
=====	PROPOSED CURB & GUTTER
=====	EXISTING PAINT STRIPE
=====	PROPOSED PAINT STRIPE
-----CIV-----	EXISTING UNDERGROUND CABLE TV LINE
-----SR-----	EXISTING UNDERGROUND STRONGA COMM LINE
-----GAS-----	EXISTING GAS LINE
-----GAS-----	PROPOSED GAS LINE
-----OHP-----	EXISTING OVERHEAD POWER LINE
-----PMR-----	EXISTING UNDERGROUND POWER LINE
-----24"SD-----	EXISTING STORM DRAIN LINE & SIZE
-----SD-----	PROPOSED STORM DRAIN LINE
-----18"SS-----	EXISTING SEWER LINE & SIZE
-----6"SS-----	PROPOSED SEWER LINE & SIZE
-----6"W-----	EXISTING WATER LINE & SIZE
-----8W-----	PROPOSED WATER LINE & SIZE
-----	PROPOSED POWER POLE
⊗	EXISTING WATER VALVE
⊗	EXISTING FIRE HYDRANT
⊗	EXISTING WATER METER
+	EXISTING SIGN
⊙	EXISTING SEWER MANHOLE
⊙	EXISTING LIGHT POLE
⊙	EXISTING TREE
-----	EXISTING ASPHALT
-----	PROPOSED ASPHALT
-----	EXISTING CONCRETE
-----	PROPOSED CONCRETE

DATE OF PREPARATION:
ORIGINAL ISSUE: 18 OCTOBER 2016





Cache • Landmark

Engineers

Surveyors

Planners

1011 West 400 North

Suite 130

Logan, UT 84321

408.5713.0099

DATE:

18 OCTOBER 2016

SCALE:

1" = 60'

DESIGN BY:

S. EARL

CHECKED BY:

XXX

APPROVED BY:

PROJECT NUMBER:

555-1601

SHEET:

C-100

SUMMERFIELD PLACE
SUBDIVISION

2650 S. 1000 W.

NIBLEY, UT

SHEET DESCRIPTION:

OVERALL SITE PLAN

PROFESSIONAL LAND SURVEYOR

STEVEN C. EARL

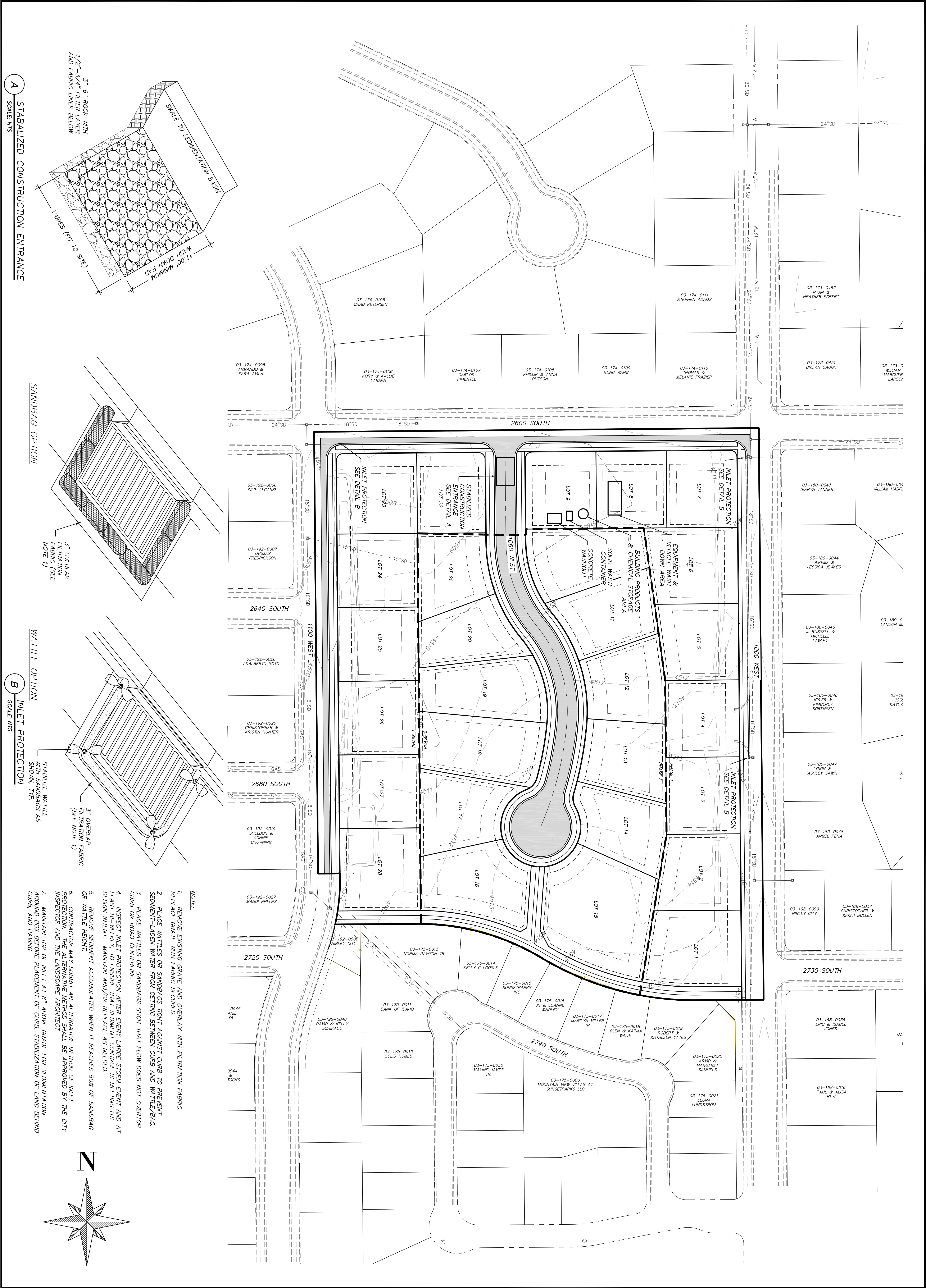
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10-18-16

NO.:

DATE:

DESCRIPTION:

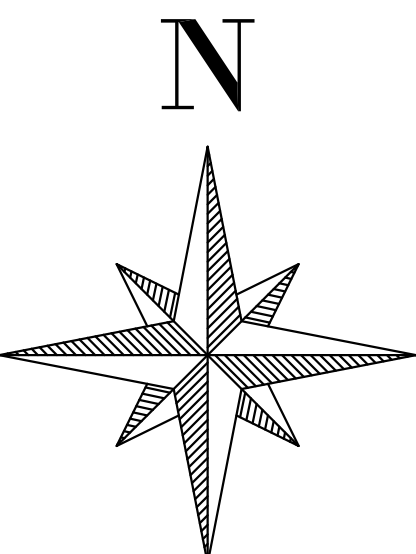


A STABILIZED CONSTRUCTION ENTRANCE
 SCALE: NIS

B SANDBAG OPTION
 SCALE: NIS

C WATTLE OPTION
 SCALE: NIS

- NOTE:**
1. REMOVE EXISTING GRATE AND OVERLAY WITH FILTRATION FABRIC. REPLACE GRATE WITH FABRIC SECURED.
 2. PLACE WATTLES OR SANDBAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LOADED WATER FROM GETTING BETWEEN CURB AND WATTLE/BAG.
 3. PLACE WATTLES OR SANDBAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
 4. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
 5. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF SANDBAG OR WATTLE HEIGHT.
 6. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION, BUT THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE LANDSCAPE ARCHITECT.
 7. MAINTAIN TOP OF INLET AT 6" ABOVE GRADE FOR SEDIMENTATION AROUND BOX BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND PAVING



C-200

Cache • Landmark

Engineers

Surveyors

Planners

1011 West 400 North

Suite 130

Provo, UT 84601

801.733.1099

DATE:

18 OCTOBER 2016

SCALE:

1" = 60'

DESIGN BY:

S. EARL

CHECKED BY:

XXX

PROJECT NUMBER:

555-1601

SHEET:

C-200

SUMMERFIELD PLACE

SUBDIVISION

2650 S. 1000 W.

NIBLEY, UT

SHEET DESCRIPTION:

EROSION CONTROL PLAN

PROFESSIONAL LAND SURVEYOR

STEVEN C. EARL

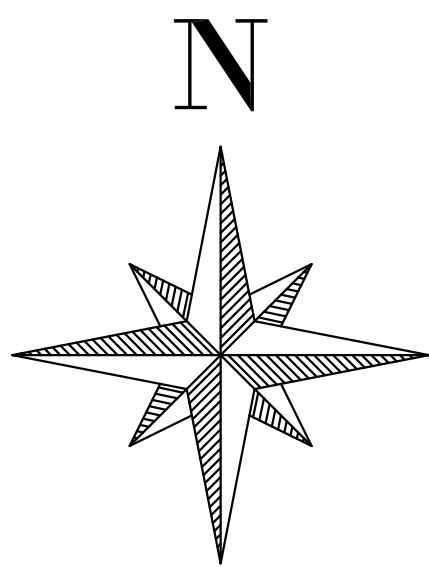
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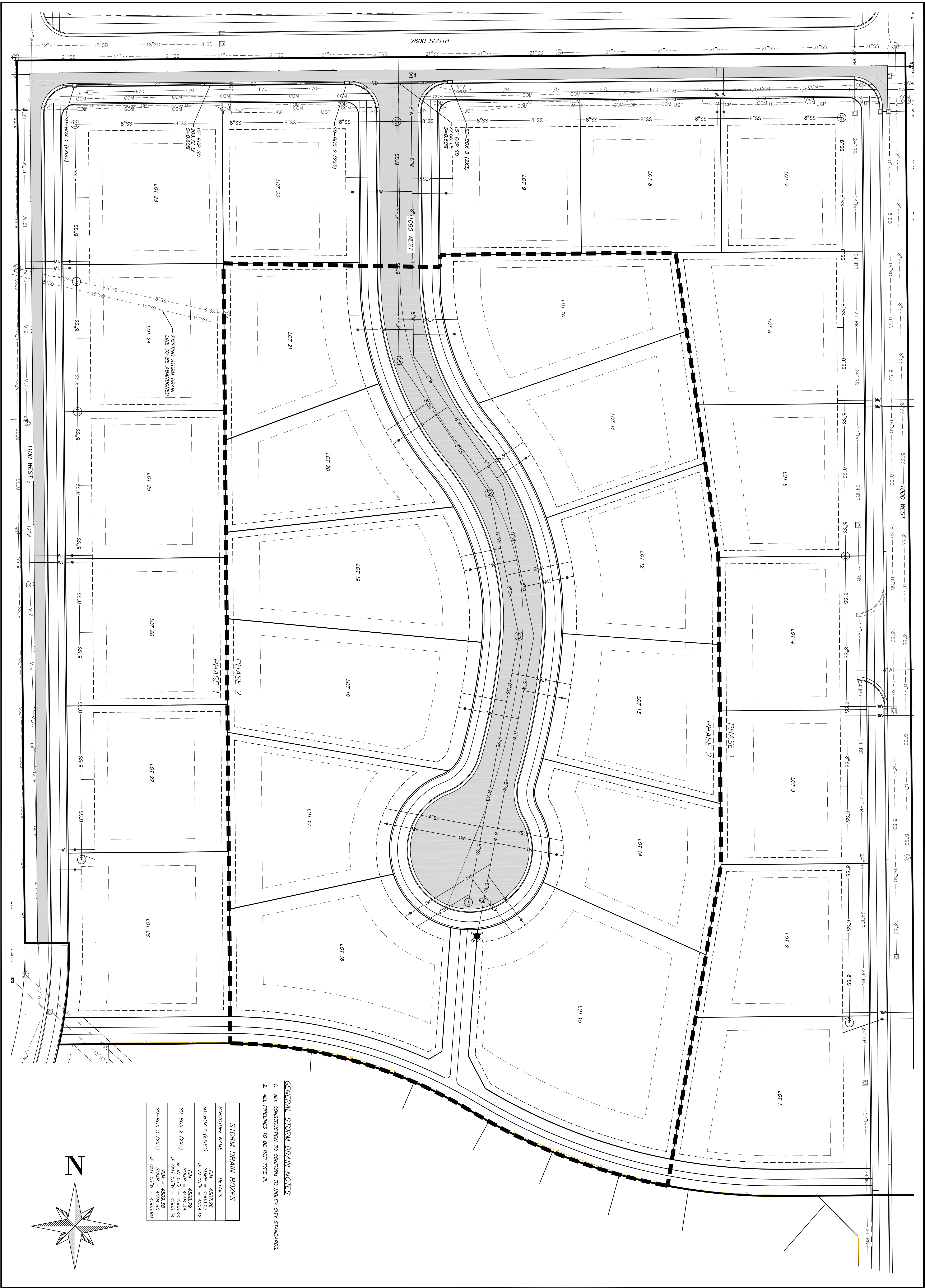
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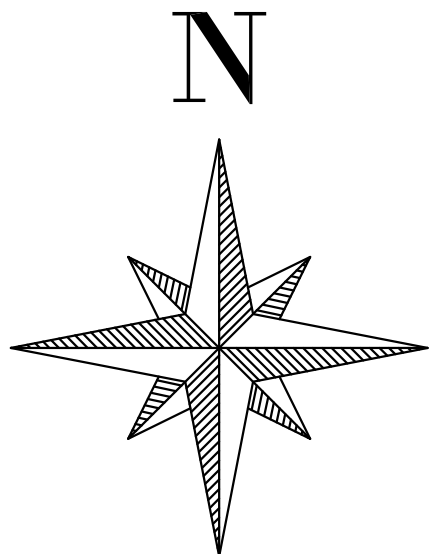
DESCRIPTION:





- GENERAL STORM DRAIN NOTES
1. ALL CONSTRUCTION TO CONFORM TO NIBLEY CITY STANDARDS.
 2. ALL PIPELINES TO BE RCP TYPE III.

STORM DRAIN BOXES	DETAILS
SD-BOX 1 (EXIST)	RIM = 4507.26 SUMP = 4503.12 IE IN 12"E = 4504.12
SD-BOX 2 (2X3)	RIM = 4508.79 SUMP = 4504.44 IE IN 15"W = 4505.34 IE OUT 15"W = 4505.34
SD-BOX 3 (2X3)	RIM = 4509.38 SUMP = 4504.90 IE OUT 15"W = 4505.90



C-400

DATE: 18 OCTOBER 2016

SCALE: 1" = 30'

DESIGNER: S. EARL

CHECKED BY: XXX

PROJECT NUMBER: 555-1601

SHEET:

Cache + Landmark

Engineers

Surveyors

Planners

1011 West 400 North

Provo, UT 84601

435.713.0099

SUMMERFIELD PLACE SUBDIVISION

2650 S. 1000 W.

NIBLEY, UT

SHEET DESCRIPTION:

STORM DRAIN

PROFESSIONAL LAND SURVEYOR

STEVEN C. EARL

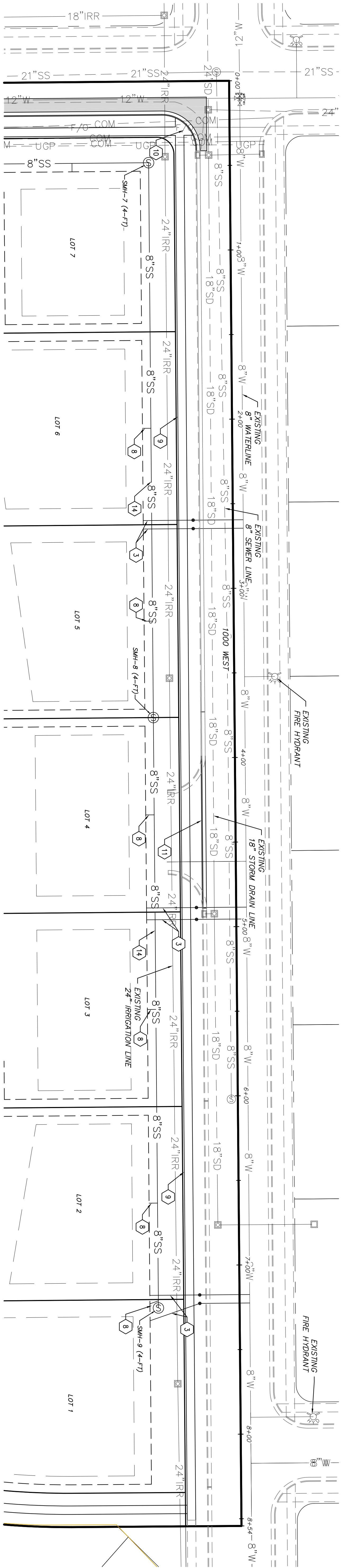
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10-16-16

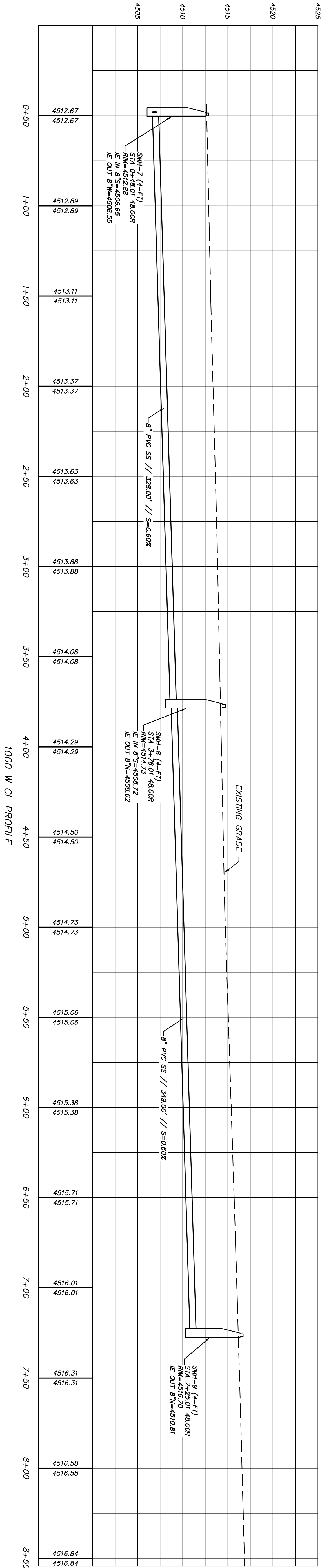
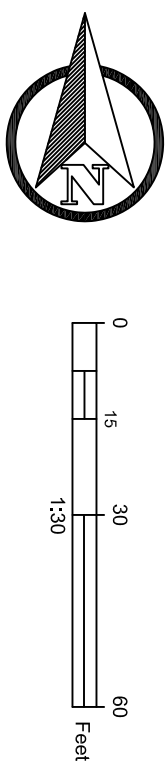
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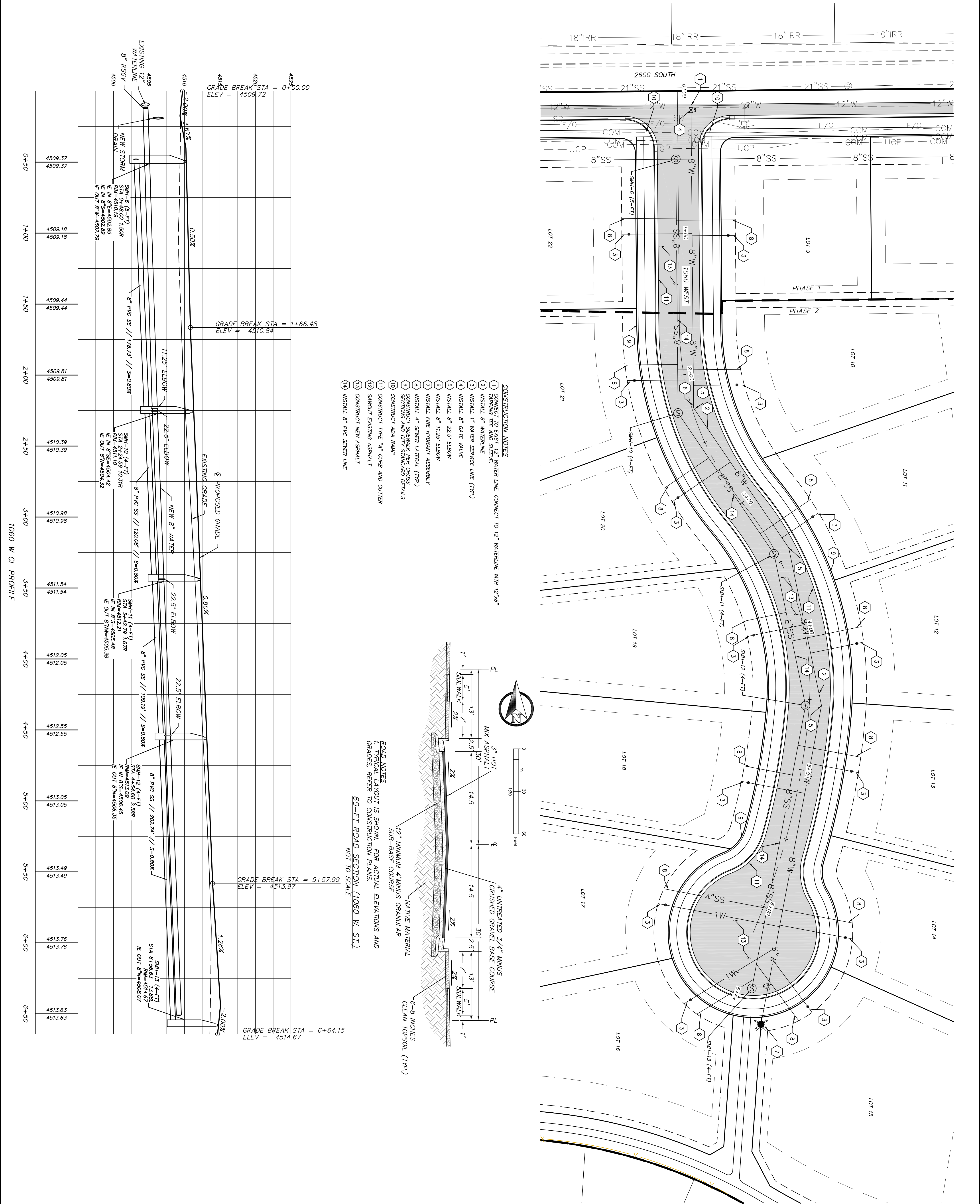
- 1 CONNECT TO EXIST. 12" WATER LINE, CONNECT TO 12" WATERLINE WITH 12" WATERLINE
- 2 TAPPING TEE AND SLEEVE.
- 3 INSTALL 1" WATERLINE
- 4 INSTALL 8" GATE VALVE
- 5 INSTALL 8" 22.5° ELBOW
- 6 INSTALL 8" 11.25° ELBOW
- 7 INSTALL FINE HYDRANT ASSEMBLY
- 8 INSTALL 4" SENDER LATERAL (TYP.)
- 9 CONSTRUCT SIDEWALK PER CROSS SECTIONS AND CITY STANDARD DETAILS
- 10 CONSTRUCT ADA RAMP
- 11 CONSTRUCT TYPE "A" CURB AND GUTTER
- 12 SAWCUT EXISTING ASPHALT
- 13 CONSTRUCT NEW ASPHALT
- 14 INSTALL 8" PVC SENDER LINE

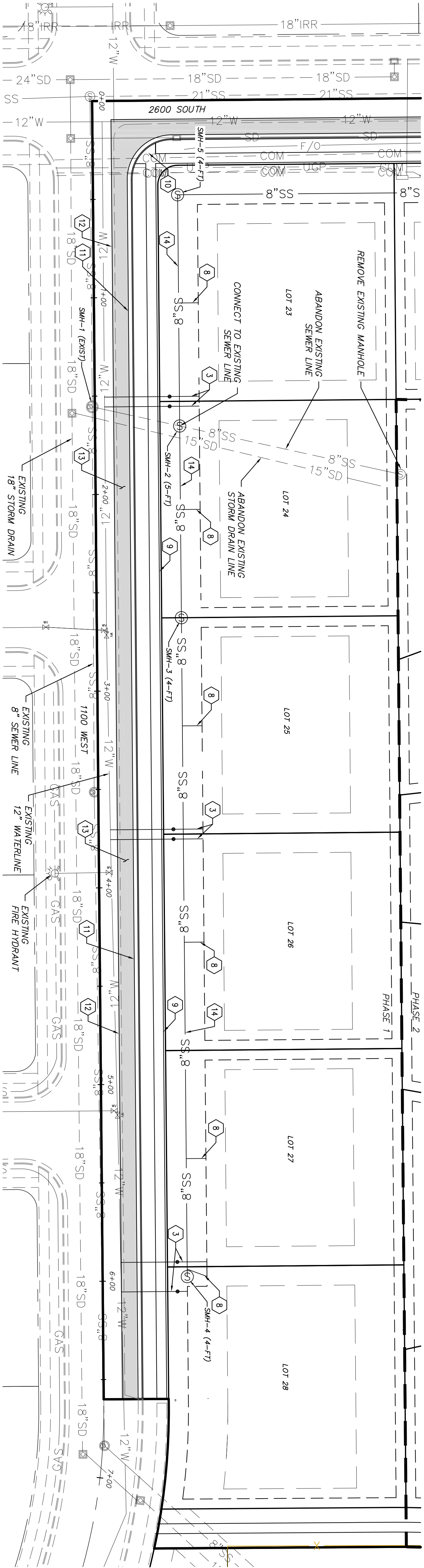
4508.08	4508.08	4508.43	4508.43	4508.70	4508.70	4509.00	4509.00	4509.44	4509.44	4509.83	4509.83	4510.20	4510.20	4510.55	4510.55	4510.89	4510.89	4511.33	4511.33	4511.71	4511.71	4512.14	4512.14	4512.43	4512.43	



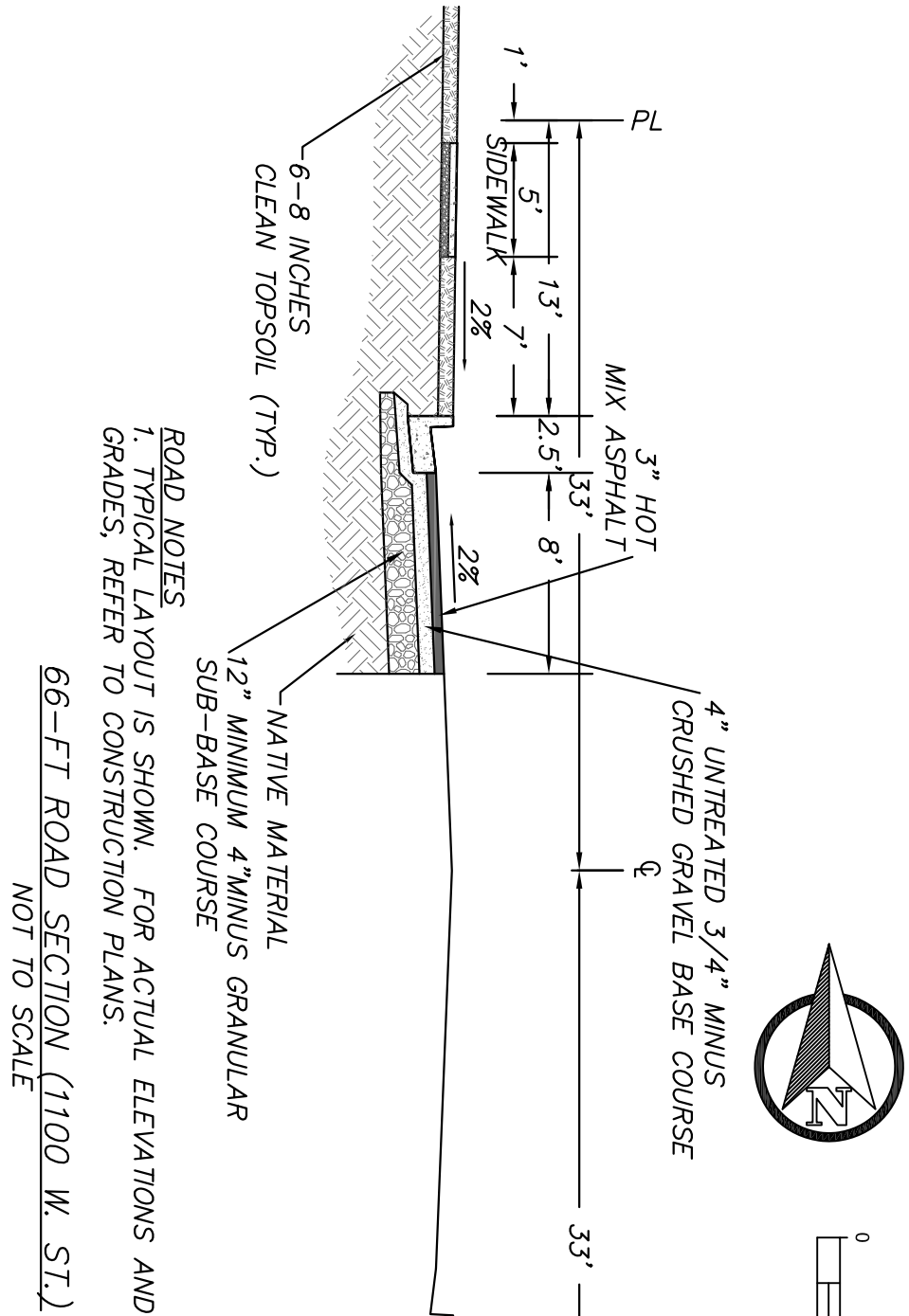
- CONSTRUCTION NOTES**
- CONNECT TO EXIST. 12" WATER LINE. CONNECT TO 12" WATERLINE WITH 12"x8"
 - TAPPING TEE AND SLEEVE.
 - INSTALL 8" WATERLINE
 - INSTALL 1" WATER SERVICE LINE (TYP)
 - INSTALL 8" GATE VALVE
 - INSTALL 8" 22.5° ELBOW
 - INSTALL 8" 11.25° ELBOW
 - INSTALL FIRE HYDRANT ASSEMBLY
 - INSTALL 4" SEWER LATERAL (TYP)
 - CONSTRUCT SIDEWALK PER CROSS SECTIONS AND CITY STANDARD DETAILS
 - CONSTRUCT ADA RAMP
 - CONSTRUCT TYPE "A" CURB AND GUTTER
 - SAWCUT EXISTING ASPHALT
 - CONSTRUCT NEW ASPHALT
 - INSTALL 8" PVC SEWER LINE



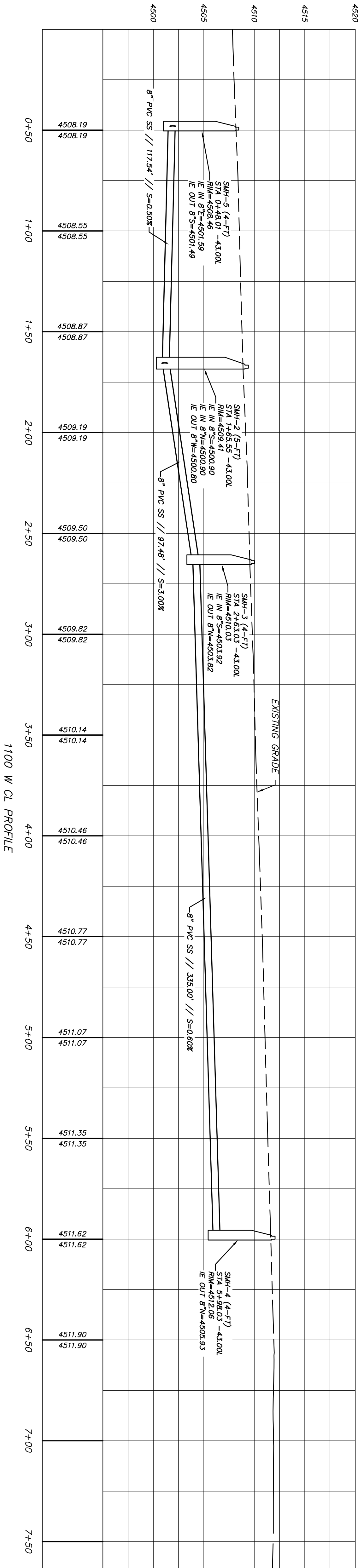


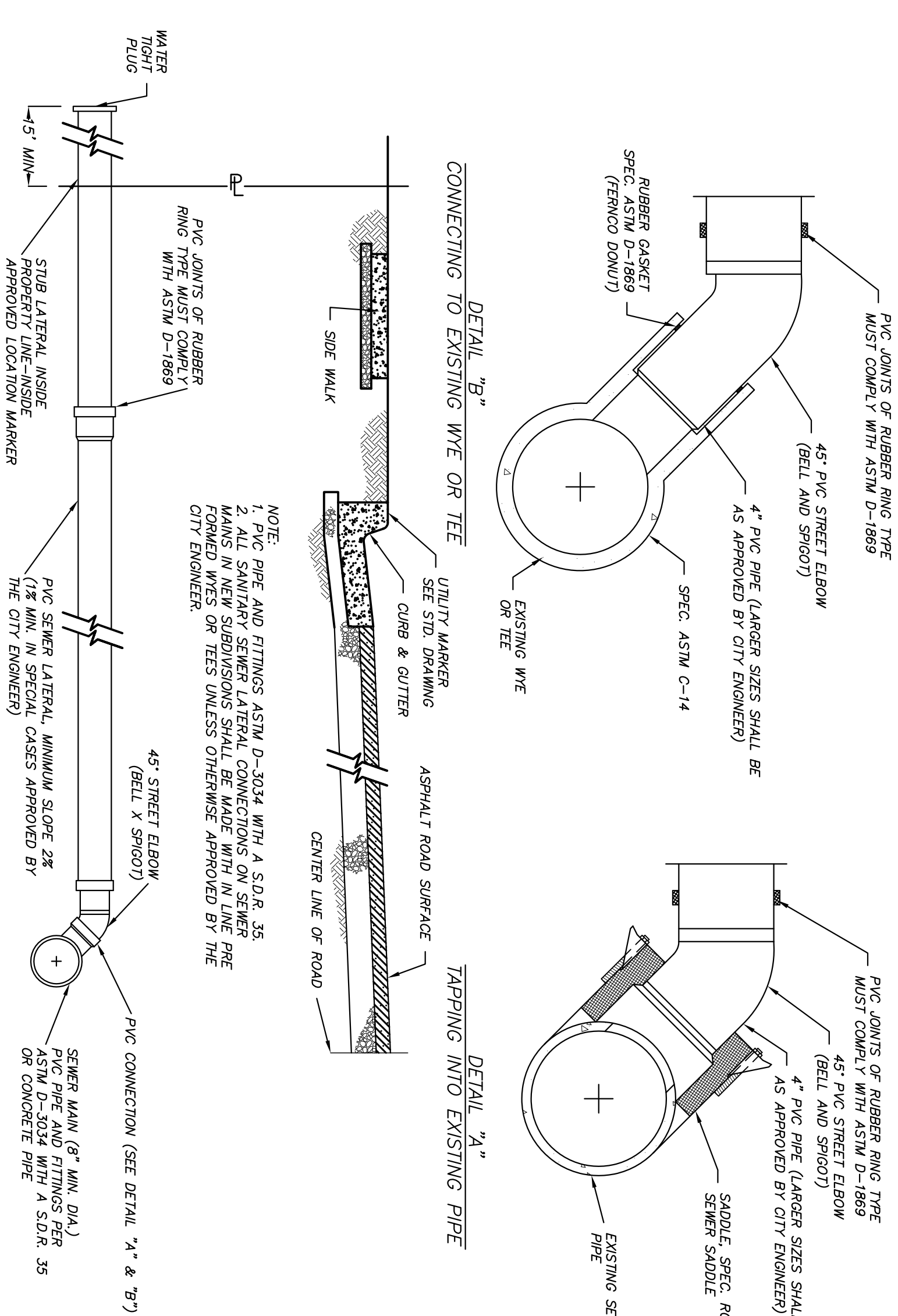


- CONSTRUCTION NOTES
1. CONNECT TO EXIST. 12" WATER LINE. CONNECT TO 12" WATERLINE WITH 12"x8" TAPPING TEE AND SLEEVE.
 2. INSTALL 8" WATERLINE
 3. INSTALL 1" WATER SERVICE LINE (TYP.)
 4. INSTALL 8" GATE VALVE
 5. INSTALL 8" 22.5' ELBOW
 6. INSTALL 8" 11.25' ELBOW
 7. INSTALL FIRE HYDRANT ASSEMBLY
 8. INSTALL 4" SEWER LATERAL (TYP.)
 9. CONSTRUCT SIDEWALK PER CROSS SECTIONS AND CITY STANDARD DETAILS
 10. CONSTRUCT ADA RAMP
 11. CONSTRUCT TYPE "A" CURB AND GUTTER
 12. SAWCUT EXISTING ASPHALT
 13. CONSTRUCT NEW ASPHALT
 14. INSTALL 8" PVC SEWER LINE

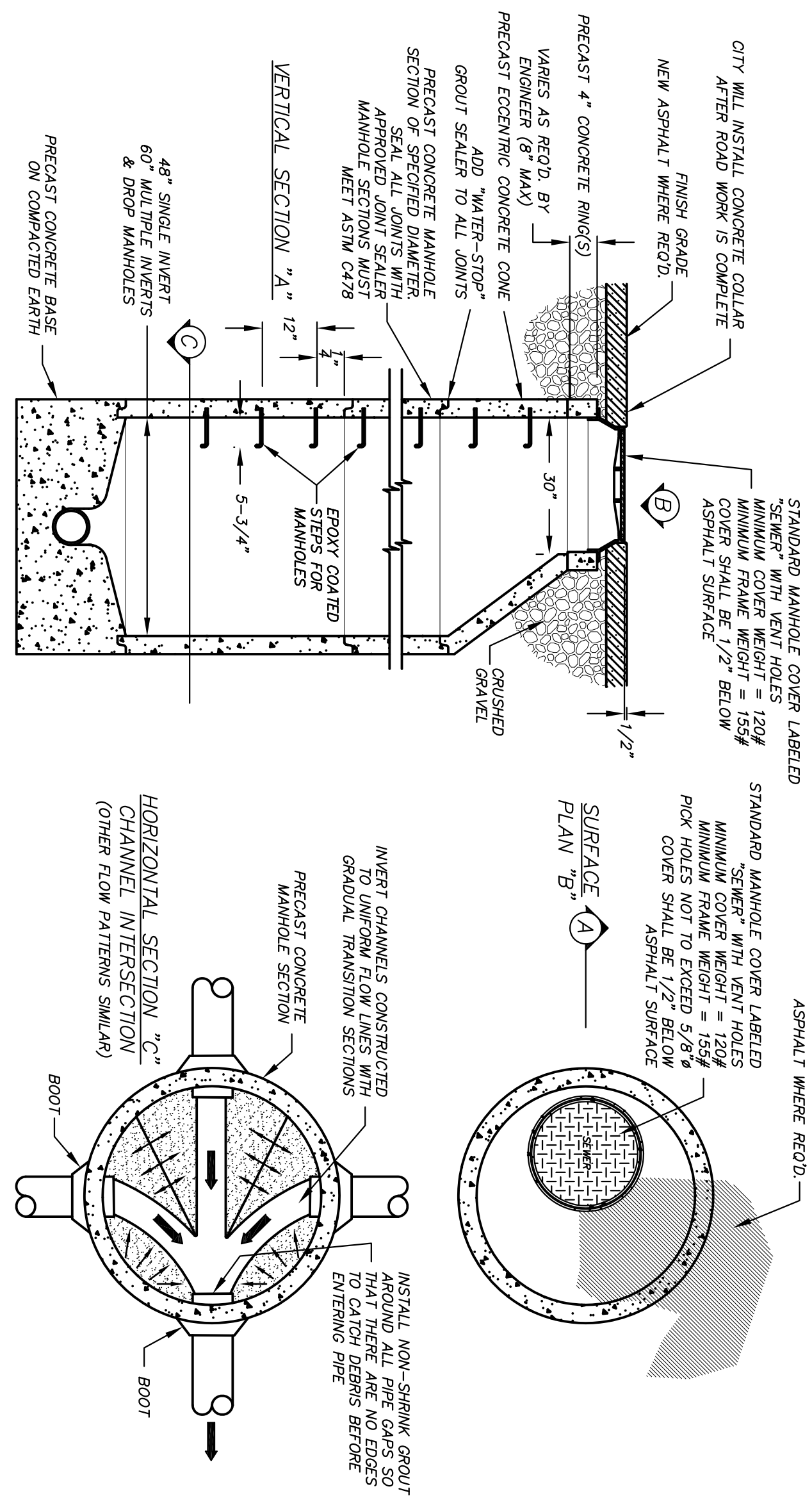


ROAD NOTES
 1. TYPICAL LAYOUT IS SHOWN. FOR ACTUAL ELEVATIONS AND GRADES, REFER TO CONSTRUCTION PLANS.
 66'-FT ROAD SECTION (1100 W. ST.)
 NOT TO SCALE

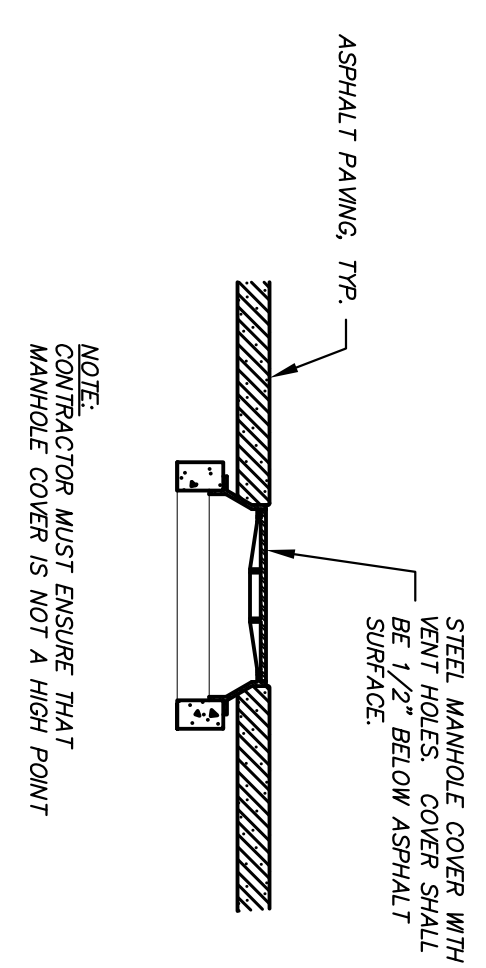




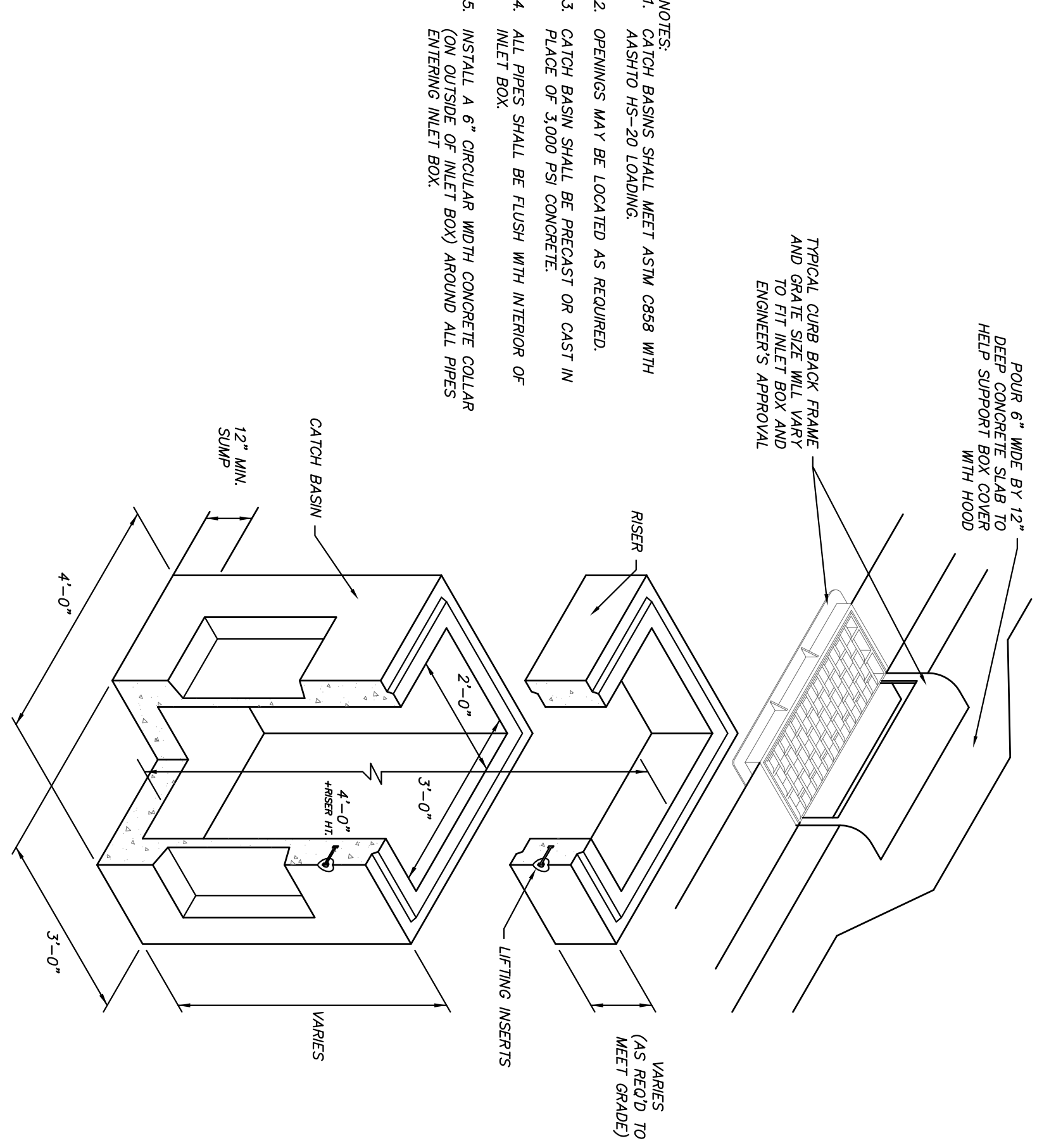
1
 TYPICAL SEWER LATERAL CONNECTION
 SCALE: N.T.S.



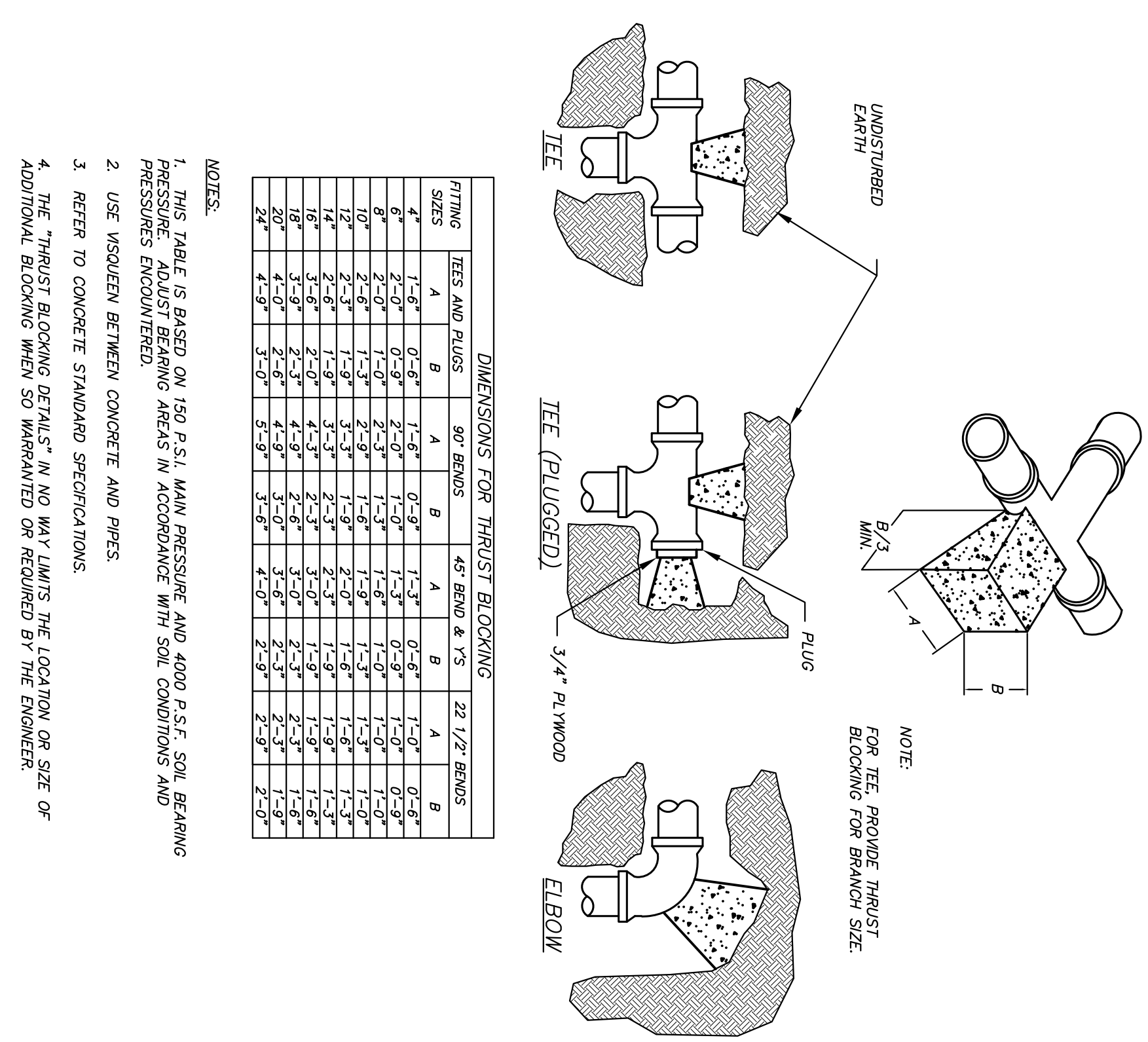
2
 TYPICAL SANITARY SEWER MANHOLE
 SCALE: N.T.S.



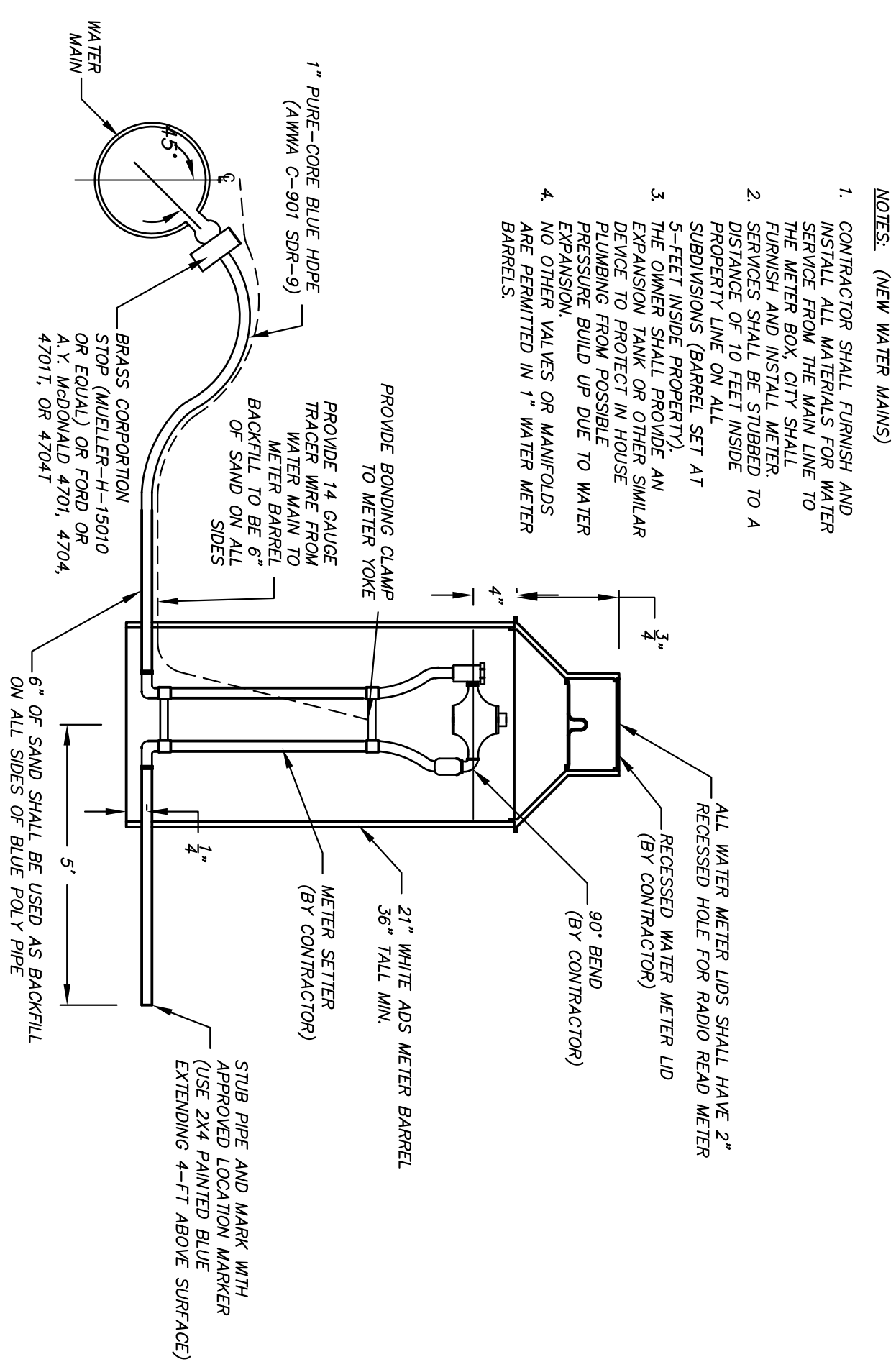
3
 MANHOLE AND PAVEMENT INTERFACE
 SCALE: N.T.S.



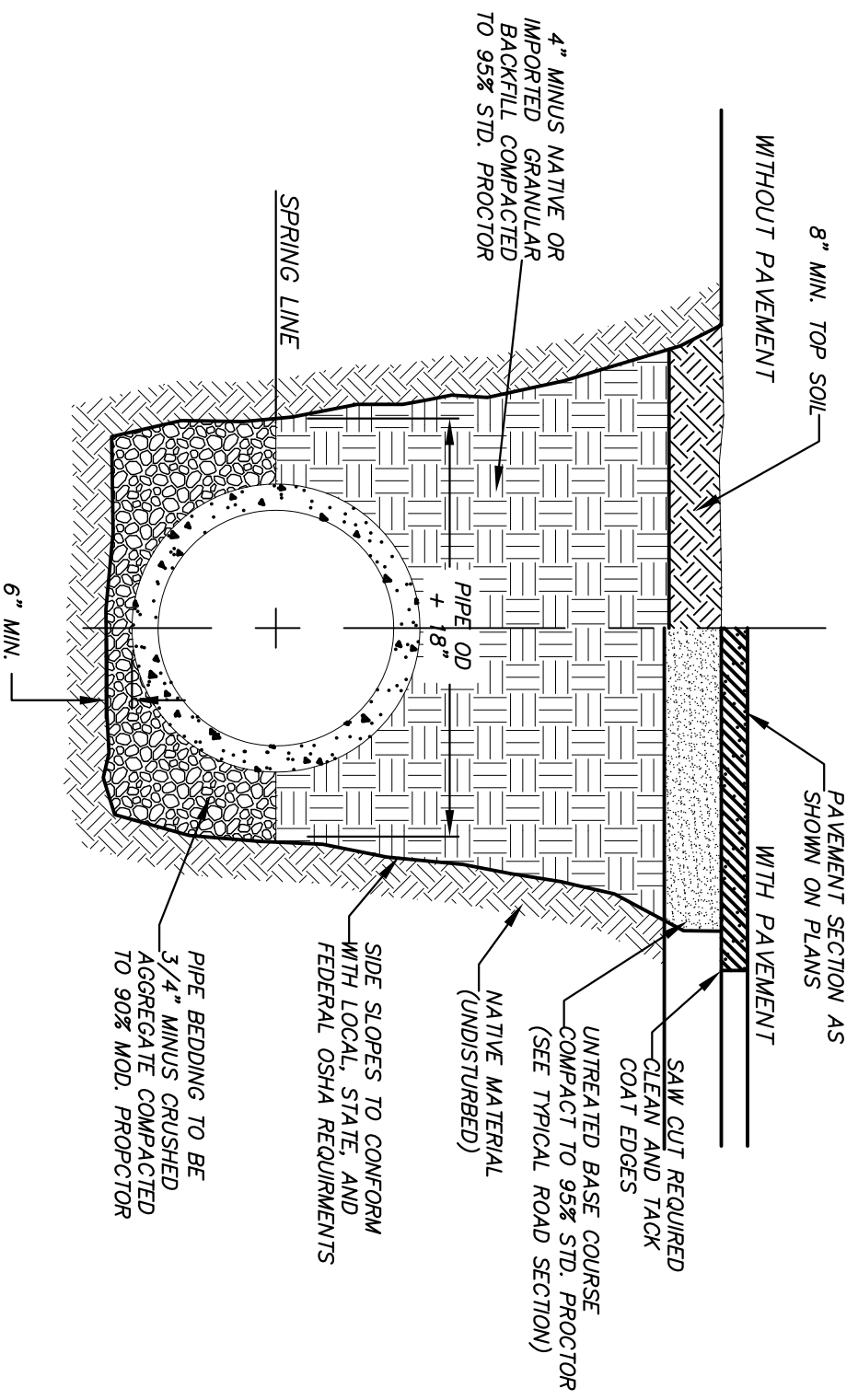
4
 2' x 3' CURB INLET BOX W/ HOOD AND GRATE
 SCALE: N.T.S.



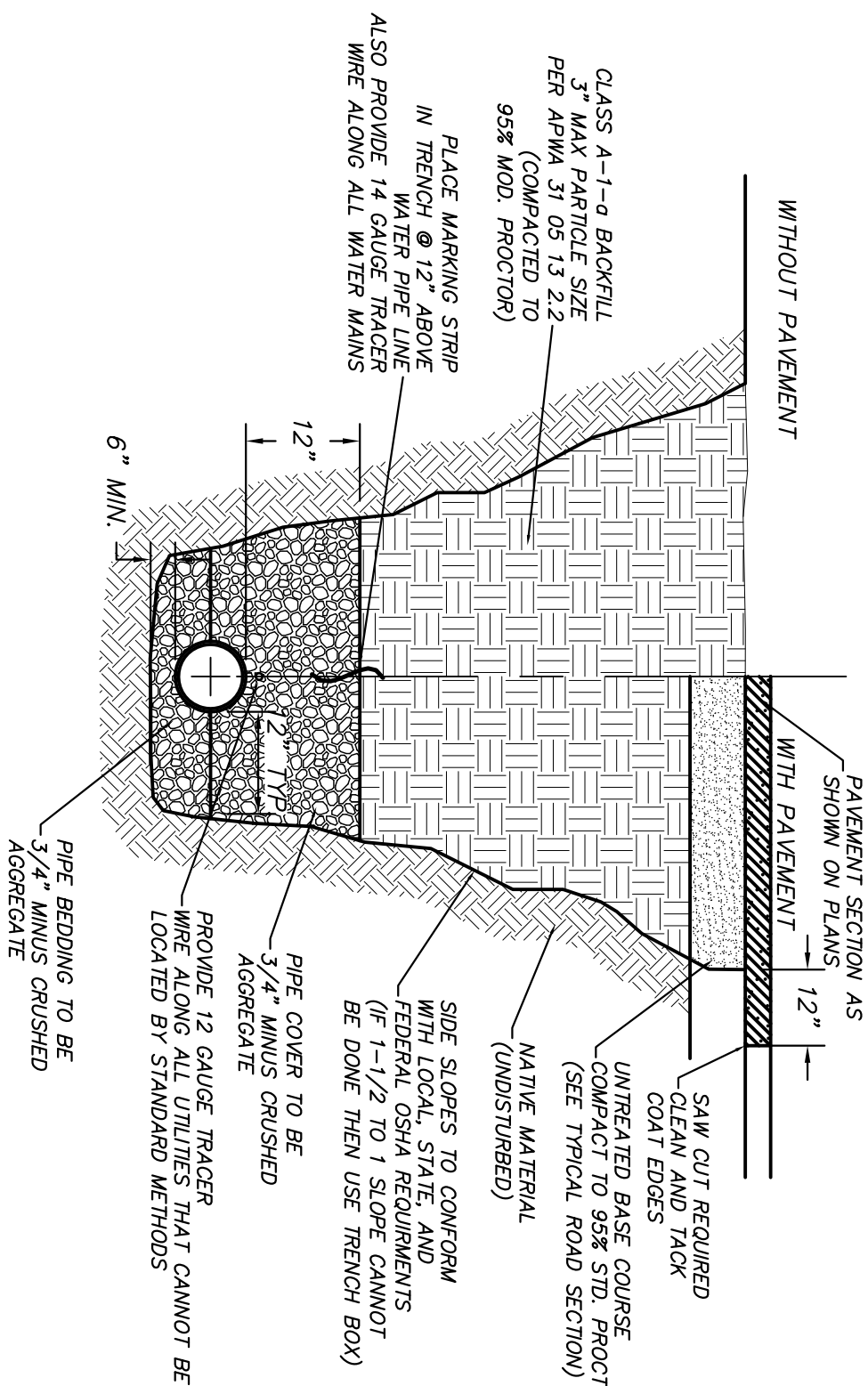
5
 THRUST BLOCKING DETAILS AND SCHEDULE
 SCALE: N.T.S.



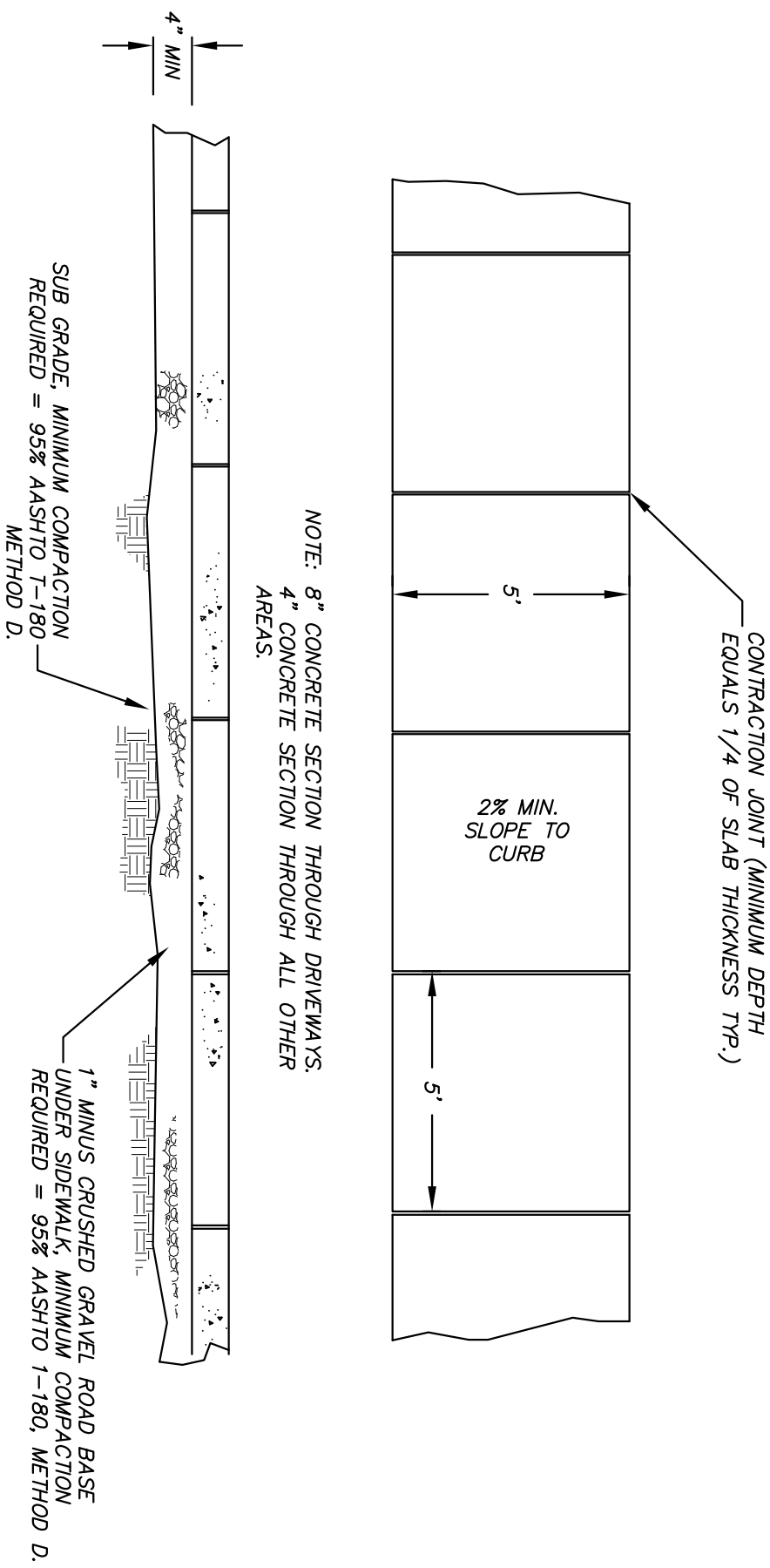
6
 STANDARD PVC WATER METER VAULT
 SCALE: N.T.S.



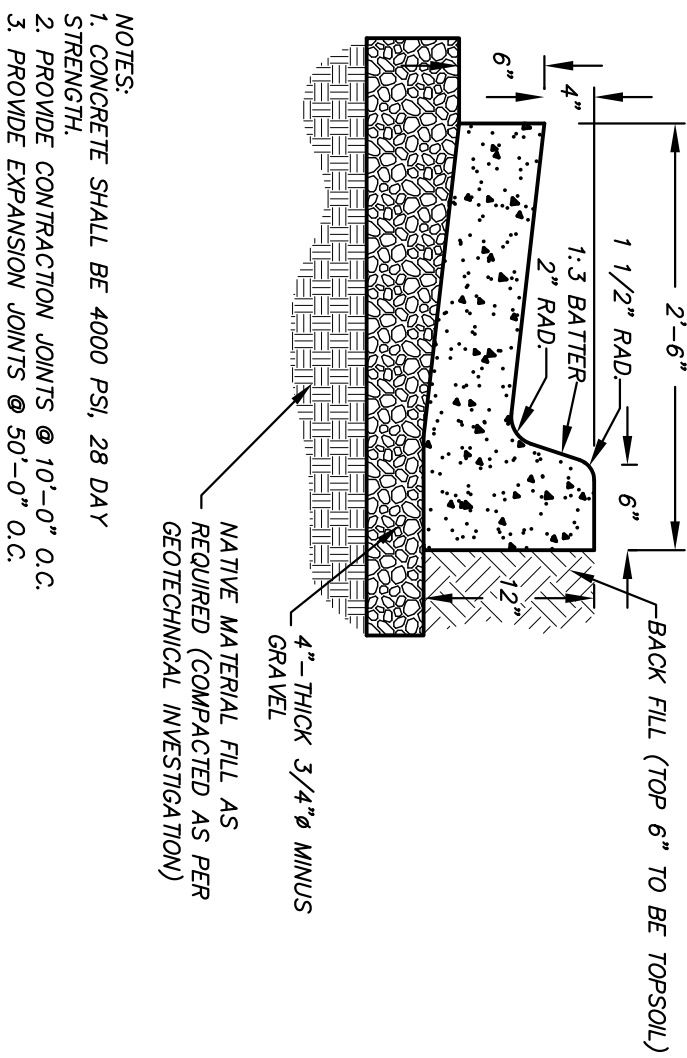
1 EXCAVATION & BACKFILL W/ CONCRETE PIPE
SCALE: N.T.S.



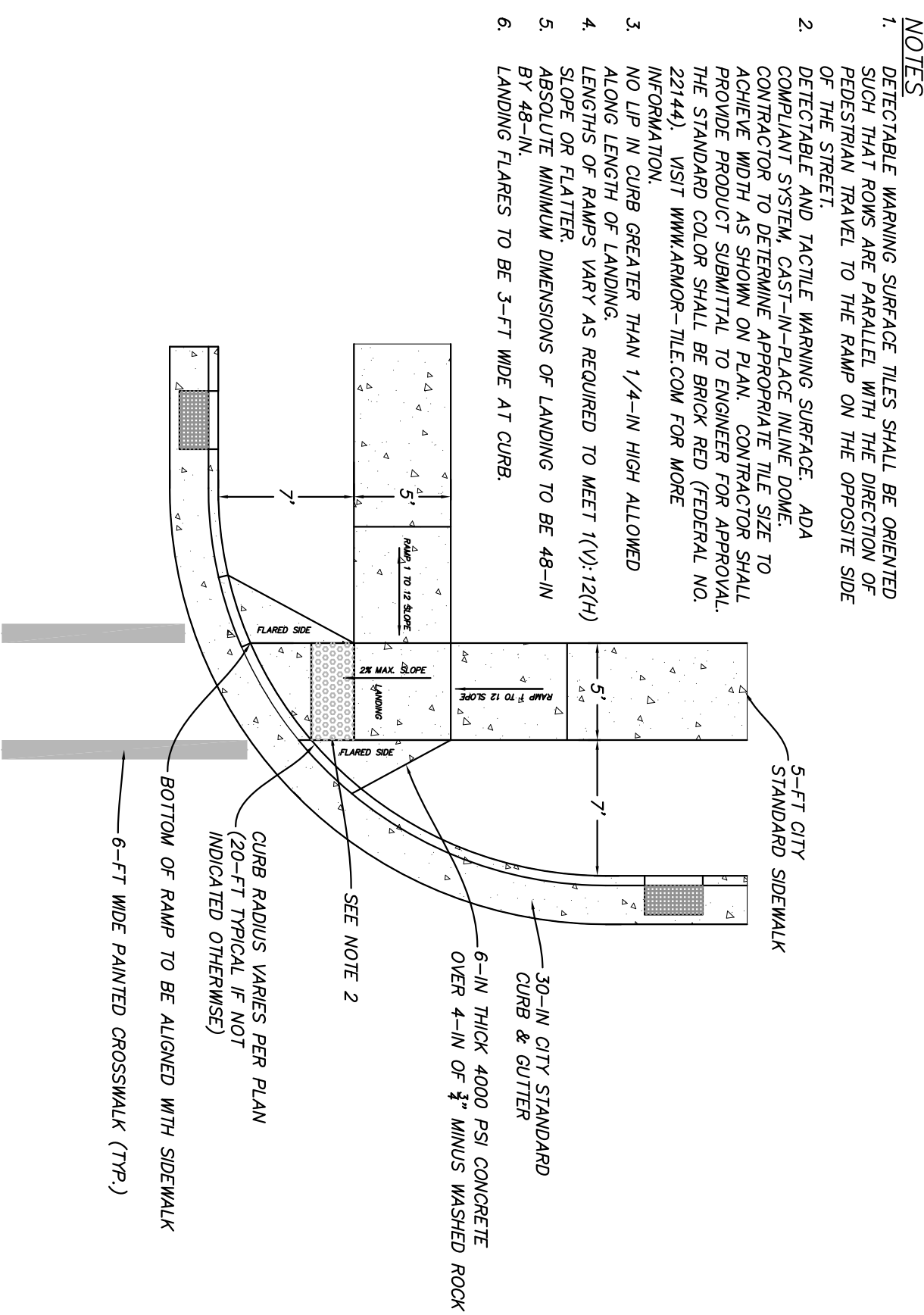
2
EXCAVATION & BACKFILL PLASTIC WATER/SEWER/STORMDRAIN
SCALE: N.T.S.



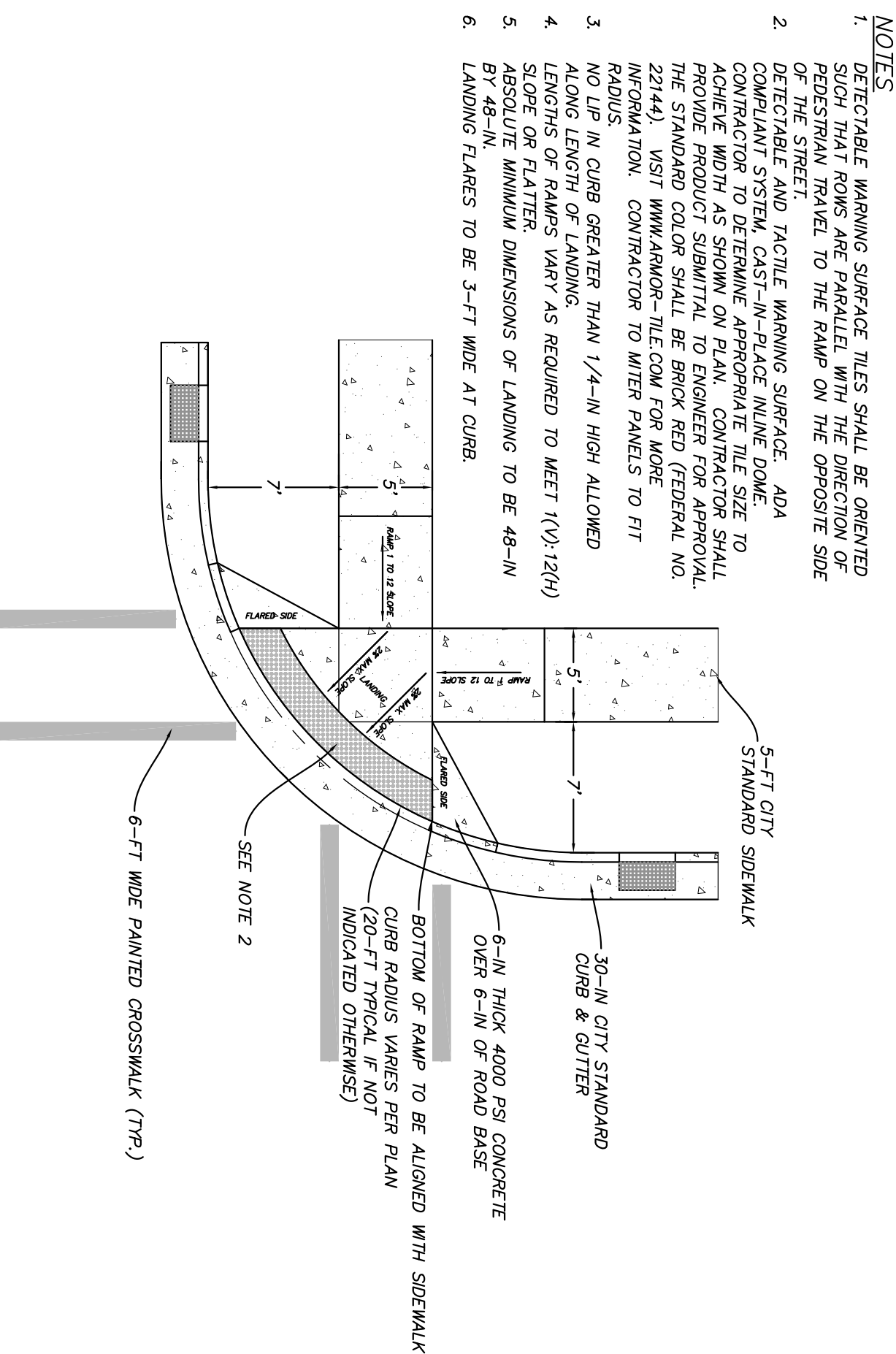
3 5' SIDEWALK DETAIL
SCALE: N.T.S.



4 30" CURB AND GUTTER TYPICAL SECTION
SCALE: N.T.S.



3 BLENDING TRANSITION ADA HANDICAP RAMP (TEE) DETAIL
SCALE: N.T.S.



5 BLENDED TRANSITION ADA HANDICAP RAMP DETAIL
SCALE: N.T.S.

NO.:	DATE:	DESCRIPTION:

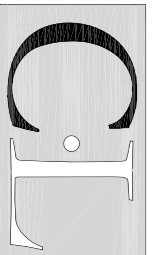


SHEET DESCRIPTION:

STANDARD DETAILS

*SUMMERFIELD PLACE
SUBDIVISION*

2650 S. 1000 W.
NIBLEY, UT



Cache • Landmark

Engineers
Surveyors
Planners

1011 West 400 North
Suite 130
Logan, UT 84321
435.713.0099

DATE: 18 OCTOBER 2016

SCALE:

DESIGN BY:

C. EMMEL

XXX

100

PROJECT NUMBER 555-160

SHEET:

C-601

ORDINANCE 16-_____
AN ORDINANCE PRESERVING THE
SAFETY AND ALLOWING FOR MAINTENANCE OF CANALS AND WATERWAYS

WHEREAS, Nibley City has an ownership interest in all canal and/or irrigation companies within the City; and

WHEREAS, Nibley residents rely on free-flowing and clean canals and waterways for the conveyance of irrigation water to agricultural and rural landscapes, and also for the conveyance of City stormwater; and

WHEREAS, unobstructed canals and waterways are critical to controlling flooding of private and public property within the City, and, in some cases, are integral parts of the City's stormwater infrastructure; and

WHEREAS, open canals and waterways provide critical wildlife habitat and corridors, opportunities for connectivity and recreation, and are an integral part of the rural landscape; and

WHEREAS, increased development pressure is impeding canal and waterway owners' ability to maintain the infrastructure such that it can function for its intended purposes of flood control and irrigation delivery; and

WHEREAS, Nibley City has certain contractual obligations with respect to the Nibley Blacksmith Fork Irrigation Company (NBFI); and

WHEREAS, Nibley City has the authority to establish policies to control the impact of development on commonly held assets and resources within the City.

NOW THEREFORE, BE IT ORDAINED BY THE NIBLEY CITY COUNCIL OF NIBLEY, UTAH THAT:

1. The attached ordinance, titled "An Ordinance Preserving the Safety and Allowing for Maintenance of Canals and Waterways" is hereby adopted.
2. All ordinances, resolutions, and policies of the City, or parts thereof, inconsistent herewith, are hereby repealed, but only to the extent of such inconsistency. This repealer shall not be construed as reviving any law, order, resolution, or ordinance, or part thereof.
3. Should any provision, clause, or paragraph of this ordinance or the application thereof to any person or circumstance be declared by a court of competent jurisdiction to be invalid, in whole or in part, such invalidity shall not affect the other provisions or applications of this ordinance or the Nibley City Municipal Code to which these amendments apply. The valid part of any provision, clause, or paragraph of this ordinance shall be given independence from

the invalid provisions or applications, and to this end the parts, sections, and subsections of this ordinance, together with the regulations contained therein, are hereby declared to be severable.

4. This ordinance shall become effective upon posting as required by law.

PASSED BY THE NIBLEY CITY COUNCIL THIS ____ DAY OF _____, 2016.

Shaun Dustin, Mayor

ATTEST:

David Zook ,City Recorder

ORDINANCE 16-____
AN ORDINANCE PRESERVING THE
SAFETY AND ALLOWING FOR MAINTENANCE OF CANALS AND WATERWAYS

1. Waterways as used in this Ordinance includes surface water runoff and drainage, drainage ditches and irrigation ditches, whether surface or subsurface.

2. Irrigation and canal companies shall have the right of access to canals and waterways as allowed by state law, and as permitted by the easements and rights of way of such companies.

3. Nibley City will not issue building, fence, grading or other permits that would limit, hinder, infringe or encroach upon any established rights of way, whether established by deed, use, or otherwise, for access to or maintenance of the canals and waterways within the City. Absent clear and convincing evidence otherwise, the City presumes that all canals and waterways have an access easement and setback fifteen feet (15') in width from the top of each inside bank or the toe of the Canal, whichever is greater, to the edge of the easement. To protect this easement, there is a fifteen foot (15') setback requirement prohibiting any fences, structures or permanent improvements within fifteen feet (15') of the bank of any canal or waterway. The City will not require permits for existing fences, structures or permanent improvements within the fifteen foot (15') setback if such were legal under Nibley City Ordinances when installed. Improvements or modifications to existing fences, structures or other permanent improvements shall be subject to this ordinance.

4. For changes in land use, including but not limited to building permits, new subdivisions, rezones, annexations, and development:

a. Nibley City may condition approval upon the formal recording of any reasonable canal and/or waterway easements, for access, maintenance, public right-of-way, and public safety.

b. Canal and waterway easements will not count against zoning density requirements for open canals and waterways.

c. Easements for canals and waterways and for access to the same within any new subdivision shall be required for approval of any proposed subdivision.

d. Easements for canals and waterways and for access to the same may be required by Nibley City across property that adjoins the subdivision when necessary to properly serve the subdivision or protect the City and may be a condition for approval of any proposed subdivision.

e. Developers who choose to establish deeded public rights-of-way along open canals and waterways shall be entitled to an increased (10%) density bonus, as outlined in the Nibley City Subdivision Ordinance.

f. The City may require Preliminary Plats to be submitted to canal or irrigation companies, who may be impacted by the subdivision, for review, comment and/or approval.

5. The City adopts the following conditions and requirements with respect to any land use change, development, or improvement that may impact the NBF Canal ("Canal") and which, at the discretion of the City Manager, in consultation with the Mayor, may be applied to and required for other canals and water ways within the City prior to any land use change, development or improvement:

a. Authorization for New Storm Water Inlet Structures and Outlet Structures. No new or additional Storm Water Inlet Structures and Outlet Structures and no increases in the flow of such inlets or outlets beyond the Current Discharge as defined by an Agreement between the City and NBF, shall be created or maintained except in conformance with the following procedure.

(1) The City, a landowner or a developer may at any time contact NBF to evaluate the potential for new Inlet Structures and Outlet Structures, or the potential for an increase in the capacity of any existing Inlet Structure or Outlet Structure.

(2) The City, a landowner or a developer shall provide a written request to NBF for each additional Storm Water Inlet Structure or Outlet Structure, and for increases in flow beyond the Current Discharge or any previously approved increase for existing Inlet Structures or Outlet Structures. The request shall be accompanied by the following:

(i) Drawings in both digital and printed copy showing the location, size and design specifications of each Inlet Structure or Outlet Structure proposed to be added or increased.

(ii) Drawings showing the drainage area to be served by the Inlet Structure.

(iii) Expected occurrences that will cause Storm Water inflow into the Canal, including an estimate of the time of year during which maximum inflows are expected, subject to subsection (iv) below.

(iv) An estimate of the maximum inflow to be expected from the area to be served by the Inlet Structure (with the understanding that the maximum flow may not exceed the flow allowed by Current Design Standards). This rate is determined by completing a hydrologic analysis based on soil types to determine the runoff rates prior to any land use change, development or improvement for sites greater than 1 acre, or by assuming a historical runoff rate of 0.1 cfs per acre for sites smaller than 1 acre.

(v) Written disclosure of whether the Storm Water discharge to the Canal is expected to contain any Pollutant regulated under the Utah Clean Water Act and implementing regulations thereof.

(vi) Certification that the City, landowner or developer have complied and will comply with all applicable requirements of the Utah Water Quality Act and associated regulations.

(vii) Any additional documentation or information reasonably requested by NBFI.

b. Any objections of any kind by NBFI to a new proposed Inlet Structure, Outlet Structure, or the enlargement of either, shall be given by written notice within sixty (60) days after receipt by NBFI of the written request for the same from the City, landowner or developer. NBFI shall have the right to refuse such approval only if, as demonstrated by empirical data:

(1) in the case of a new Inlet Structure or enlargement of an existing Inlet Structure, water inflow into the Canal from such inlet will exceed the Current Discharge into the Canal from the drainage area to be served by such inlet;

(2) the inflows are found by a City-County Health Department or other State, County or federal agency to be physically harmful to animals, crops of any kind, or any other beneficial use of the water; or

(3) the proposed Inlet Structure or Outlet Structure will diminish the ability to utilize all of the water to which NBFI is entitled under its water rights, hinder water deliveries, or alter, damage or obstruct, diversion structures, measuring devices, or regulating headgates on the Canal.

c. If NBFI does not provide written objections within sixty (60) days after receipt of the City's, landowner's, or developer's written request, NBFI shall be deemed to have approved the additional Inlet Structure, Outlet Structure, or increase in capacity of either.

d. If the request for additional Inlet Structures, Outlet Structures or increase in capacity of an inlet or outlet is not agreed to, NBFI shall work with the City, landowner or developer in an attempt to reach an equitable resolution in order to provide for the same.

e. If the additional Inlet Structure, Outlet Structure or increase in flow is formally approved or deemed approved as provided herein, the City shall allow commencement of construction or modification only after a written Agreement has been agreed-to, signed by the City, landowner or developer and NBFI.

f. The City shall require, as a condition to any land use change, development or improvement approval, that infrastructure (such as fencing or other improvements) be

installed by a landowner or developer as part of a land development project, when reasonably determined by the City to be necessary.

g. Landowners or developers of any land within the City must include with their plans and specifications a storm water detention plan that provides for all storm water to be retained at the site of such any land use change, development, or improvement except as may be otherwise approved by the City and NBFI.

h. If any landowner or developer of any land proposes any piping of the Canal, the construction of bridges or retaining walls, the installation of culverts, or any other action which may in any way affect the Canal, the City shall require that the plans and specifications be delivered to NBFI, and that NBFI consent to the same, in writing, prior to the approval of such land development by the City, which consent or the basis for denying such consent shall be given by NBFI within sixty (60) days after NBFI receipt of the request for approval.

i. Trash Racks. The City shall require landowners or developers to install, in connection with City-approved land use changes, development plans, or improvements, trash racks and inlet grates on all Inlet Structures so as to prevent clogging of the headgates, screens and pipelines situated within the Canal.

6. Alteration of canals or waterways, including grading, modification, contouring or removal of vegetation or soil of banks to canals and waterways, shall only be done by the canal or irrigation company, or pursuant a written permit issued by the canal or irrigation company.

7. Vested rights in the established canals and waterways for both conveyance of water and for access and maintenance of the canal or other waterway shall be protected against all encroachments and no improvements shall be erected that interfere with the same and the City shall issue no permits for improvements that interfere with the same.

8. A civil action for damages and other relief under this ordinance may be brought by the City or any person injured by another's actions in violation of this ordinance. Such civil action may be brought independent of any criminal action.

9. It is unlawful for any person to place any pole, board or other obstruction whatsoever, or any trash, yard waste or other waste material, other than irrigation water, in any ditch, waterway, or canal for any purpose, or in any manner to interfere with the free and unobstructed flow of water in such ditch, waterway, or canal. Violation of this provision constitutes a Class B misdemeanor under this Code.

10. It shall be unlawful to willfully or maliciously alter, break, or injure any dam, canal, headgate, water ditch, or other means of diverting or conveying water for irrigation or other useful purpose, or to dig away the bank or banks of any ditch, canal, or reservoir within the Nibley City boundaries. Violation of this provision constitutes a Class B misdemeanor under this Ordinance.

11. Whenever any irrigation or canal company has a right-of-way for any canal or other waterway, it shall be unlawful for any person to place or maintain in place any obstruction, or change of the water flow by fence or otherwise, along or across or in such canal or waterway, without first receiving written permission for the change from the irrigation or canal company. Violation of this provision constitutes a Class B misdemeanor under this Ordinance.

12. Any person who in any way unlawfully interferes with, injures, destroys, or removes any dam, head gate, weir, casing, valve, cap, or other appliance for the diversion, apportionment, measurement, or regulation of water, or who interferes with any person authorized to apportion water while in the discharge of his or her duties, is guilty of a class B misdemeanor under this Ordinance.

13. It shall be unlawful for any person to place or cause to be placed in the easement, channel, bed or bank of any river, stream, wash or other natural drain or within or upon any storm drain, flood control channel, reservoir, detention basin, debris basin, or other property over which the City, canal or irrigation company has an interest, matter of any kind that may operate to impede, retard or change the normal direction of the flow of flood, storm or other waters, or that may catch or collect debris carried by such waters, or that may be carried downstream by such waters to the damage and detriment of adjacent private or public property, or that may degrade the quality of the water, without first obtaining a written permit for such placement from the City and canal and/or irrigation company. Violation of this provision constitutes a Class B Misdemeanor under this Ordinance.

14. In the event any person violates any of the provisions of this Ordinance and the City takes action to correct the violation in order to protect the health, safety or welfare of its residents or to protect public or private property, the violator shall pay all reasonable costs and expenses incurred by the City (including but not limited to reasonable charges for use of City equipment and employees plus ten percent (10%) overhead) when invoiced by the City. Failure to pay within thirty (30) days of invoice shall cause the amount due to bear interest at eighteen percent (18%) per annum from the invoice date until paid, plus attorney fees and costs incurred by the City in collecting the same.